



City of Brunswick
Planning, Development, & Codes Department
601 Gloucester Street
Brunswick, Georgia, 31520

CERTIFICATE OF APPROPRIATENESS

Please take care to insure that the information for each checkbox below is sufficiently provided. **The City of Brunswick does not accept incomplete applications.**

Applications must be submitted to the Planning, Development, & Codes Department no later than 20 days prior to the regularly scheduled meeting of the Planning and Appeals Commission. The PAC meets the second Wednesday of each month.

- Completed Application
- Survey/Lot Inspection Report/Site Plan with clearly marked property lines and setbacks
- Proof of property ownership OR proof of legal authorization from property owner
- Drawings/photographs of proposed changes and area of the property/structure
- List of proposed materials (sample materials may be requested)

The Planning, Development & Codes Department highly recommends arranging a meeting with staff prior to the submission of an application. Should you have questions or wish to arrange a meeting please contact the Historic Preservation Office at (912) 267-5527.



CITY OF BRUNSWICK, GEORGIA
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS
& MATERIAL CHANGES TO EXTERIOR FEATURES
 Brunswick Historic Preservation Board

COA

1. Name of Applicant: John Laurens Jr Date: 08/15/2024

You or your representative must be present at the meeting of the Board to answer questions that may arise. You will be notified of the time, date, and location of the meeting.

Mailing Address: 123 Dodge Rd, St. Simons, GA Zip Code: 31522

Daytime Telephone: 912-230-4622

E-mail Address: John.Laurens@crossco.com

Relationship of Applicant to Property: Owner () Architect () Contractor
 () Other (Specify) _____

2. Address and Legal Description of Property: 1400, 1402, 1404, 1406, 1408, 1410 Prince St.

Year Built: 1926 Historic Designation: Historic (more than 50 years old and contributing)
 () Historic-obscured (50 years old but not contributing)
 Era: Colonial () Non-historic (less than 50 years old, yet not detracting)
Renval () Intrusions (any aged structure, which detracts)
 () Vacant

3. Proposed Work:

<input type="checkbox"/> New Construction	<input type="checkbox"/> New Signage
<input type="checkbox"/> Demolition	<input checked="" type="checkbox"/> Parking Lot, Driveway or Walkway
<input type="checkbox"/> Relocation	<input type="checkbox"/> Outbuilding or Accessory Structure
<input checked="" type="checkbox"/> Excavation	<input type="checkbox"/> Lighting Fixtures
<input checked="" type="checkbox"/> Fencing or landscaping	<input type="checkbox"/> Other
<input type="checkbox"/> Reconstruction or alteration of the size, shape or façade of an existing structure.	
<input type="checkbox"/> A change in the location or extent of signage.	

Please describe your proposed work as simply and accurately as possible. Be sure to indicate materials to be used, it is recommended you provide material samples. Accurate to-scale drawings and photographs required are to be attached. A location map is required to be attached to this application.

Restoration and improvement of existing structures. New Paint. Replacement of windows and doors to period appropriate design. New stairs to front porch and side door. Adding Air Conditioning. New electrical. New plumbing. Adding driveway through the southside of lot. Putting fencing to create screening for equipment and refuse. Materials: Nixely wood siding to match

IMPORTANT: This form must be completed before the Brunswick Historic Preservation Board can consider approval of any change affecting the appearance of any building, or property within the Historic District. This form, along with supporting documents, must be filed with the Historic Preservation Officer, 601 Gloucester Street at least 15 days prior to the regularly scheduled Board meeting. The Historic Preservation Board meets the first Monday of each month at 6:00 PM in at Old City Hall, 1229 Newcastle St. unless otherwise advertised.



CITY OF BRUNSWICK, GEORGIA
**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS
 & MATERIAL CHANGES TO EXTERIOR FEATURES**
 Brunswick Historic Preservation Board

C₂

All applicable items from the attached checklist must be addressed. Incomplete applications will not be accepted or docketed for consideration by the Historic Preservation Board.

For additional help of information, contact the Historic Preservation Officer at (912) 267-5527

SIGNATURE OF APPLICANT:

Staff Comments: _____

**CITY OF BRUNSWICK
 CERTIFICATE OF APPROPRIATENESS
 Brunswick Historic Preservation Board**

A Certificate of Appropriateness is hereby issued to: _____

For the following actions: _____

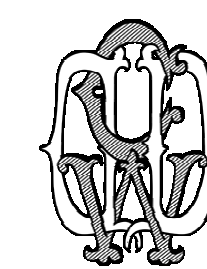
at _____

provided the following conditions are met: _____

SIGNATURE:

 Chairperson, Historic Preservation Board

DATE: _____



Charles W. Day
DESIGN

708 RICHMOND STREET
BRUNSWICK, GA 31520

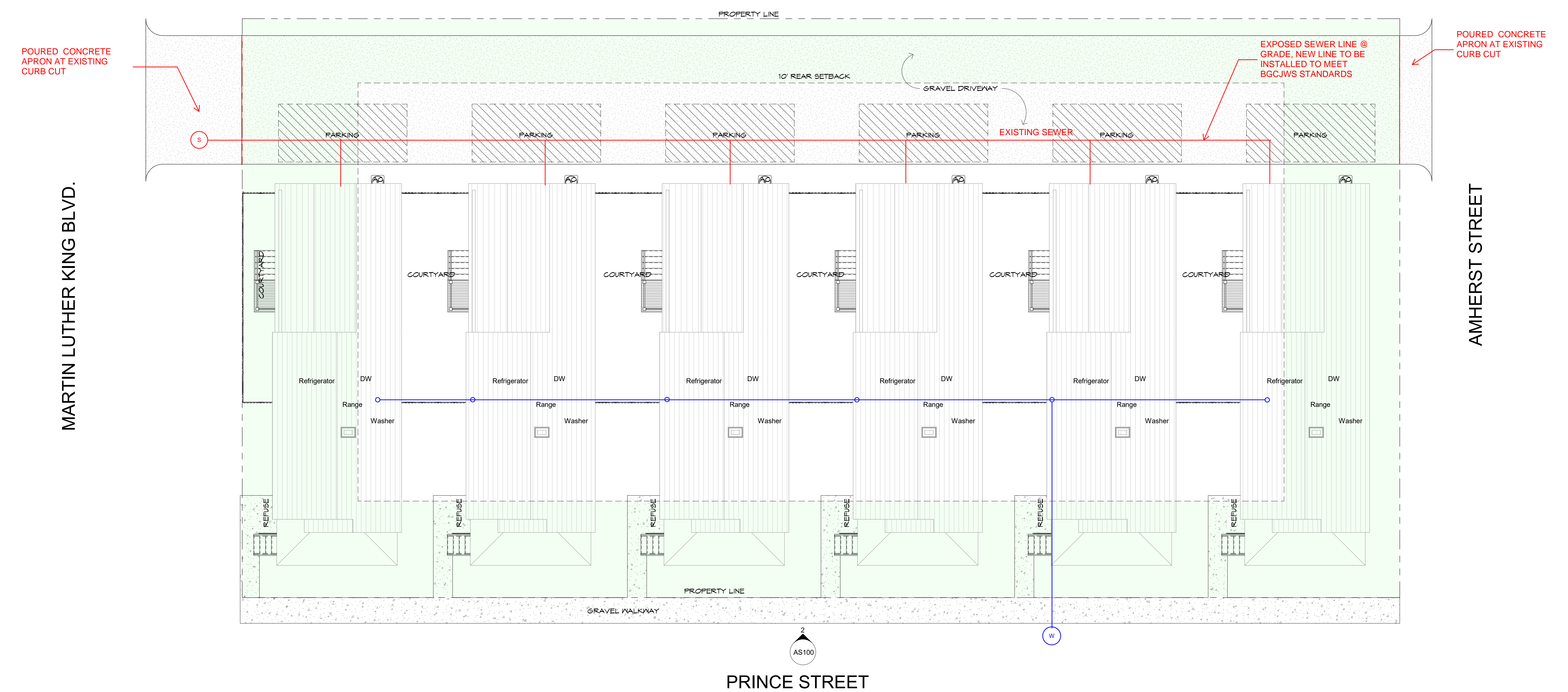
WWW.CHARLESWDAY.COM
931-265-3287

PROJECT DATA

PROJECT DESCRIPTION	EXTENSIVE MAINTENANCE AND REMODEL OF EXISTING (6) SHOTGUN HOUSES. ALL NEW ELECTRICAL, MECHANICAL, AND PLUMBING ON EACH UNIT.		
PROPERTY ADDRESS	1400 BLOCK OF PRINCE STREET; 1400, 1402, 1404, 1406, 1408, 1410		
PROPERTY LD. #	01-00841		
ZONING DISTRICT	GR - GENERAL RESIDENTIAL		
FEMA ZONE + FREEBOARD	AE-9	FINISH FLOOR ELEVATION	TO MATCH EXISTING
NOTES			
SQUARE FOOTAGE DATA	CONDITIONED	NON-CONDITIONED	TOTAL
	876 S.F. PER UNIT	100 S.F. EXISTING PER UNIT	976 S.F. PER UNIT
APPLICABLE CODES	2018 INTERNATIONAL BUILDING CODE - I.B.C. incl. GA STATE AMENDMENTS 2018 INTERNATIONAL RESIDENTIAL CODE - I.R.C. incl. GA STATE AMENDMENTS 2018 INTERNATIONAL FIRE CODE - I.F.C. incl. GA STATE AMENDMENTS 2018 INTERNATIONAL PLUMBING CODE - I.P.C. incl. GA STATE AMENDMENTS 2018 INTERNATIONAL MECHANICAL CODE - I.M.C. incl. GA STATE AMENDMENTS 2018 INTERNATIONAL FUEL GAS CODE - I.F.G.C. incl. GA STATE AMENDMENTS	2017 NATIONAL ELECTRICAL CODE - N.E.C. 2015 INT. ENERGY CONSERVATION CODE - I.E.C.C. incl. GA STATE AMENDMENTS 2018 INT. SWIMMING POOL & SPA CODE incl. GA STATE AMENDMENTS 2018 NFPA 101 LIFE SAFETY CODE - L.S.C. incl. GA FIRE MARSHALL AMENDMENTS 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN 2015 GA ACCESSIBILITY CODE 2014 ICC-600 STANDARD FOR RESIDENTIAL CONSTRUCTION IN HIGH WIND REGIONS	

DRAWING LEGEND

SHEET	TITLE	REVISION DATE
T100	TITLE SHEET	
D101	DEMOLITION	
A101	FLOOR PLAN & ELEVATIONS	
A102	ENLARGED PLANS & ELEVATIONS	
A201	EXTERIOR ELEVATIONS	
A300	SECTIONS	
A301	DETAILS	
E101	MEP	
TOTAL SHEETS: 8		



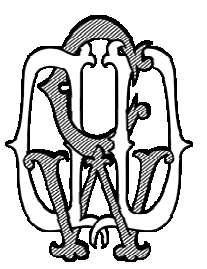
20-010
LOVER'S OAK COTTAGES
 1400 BLOCK OF PRINCE STREET
 BRUNSWICK, GA 31520

TITLE SHEET

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 20-010
 04/19/21
 CWD

T100



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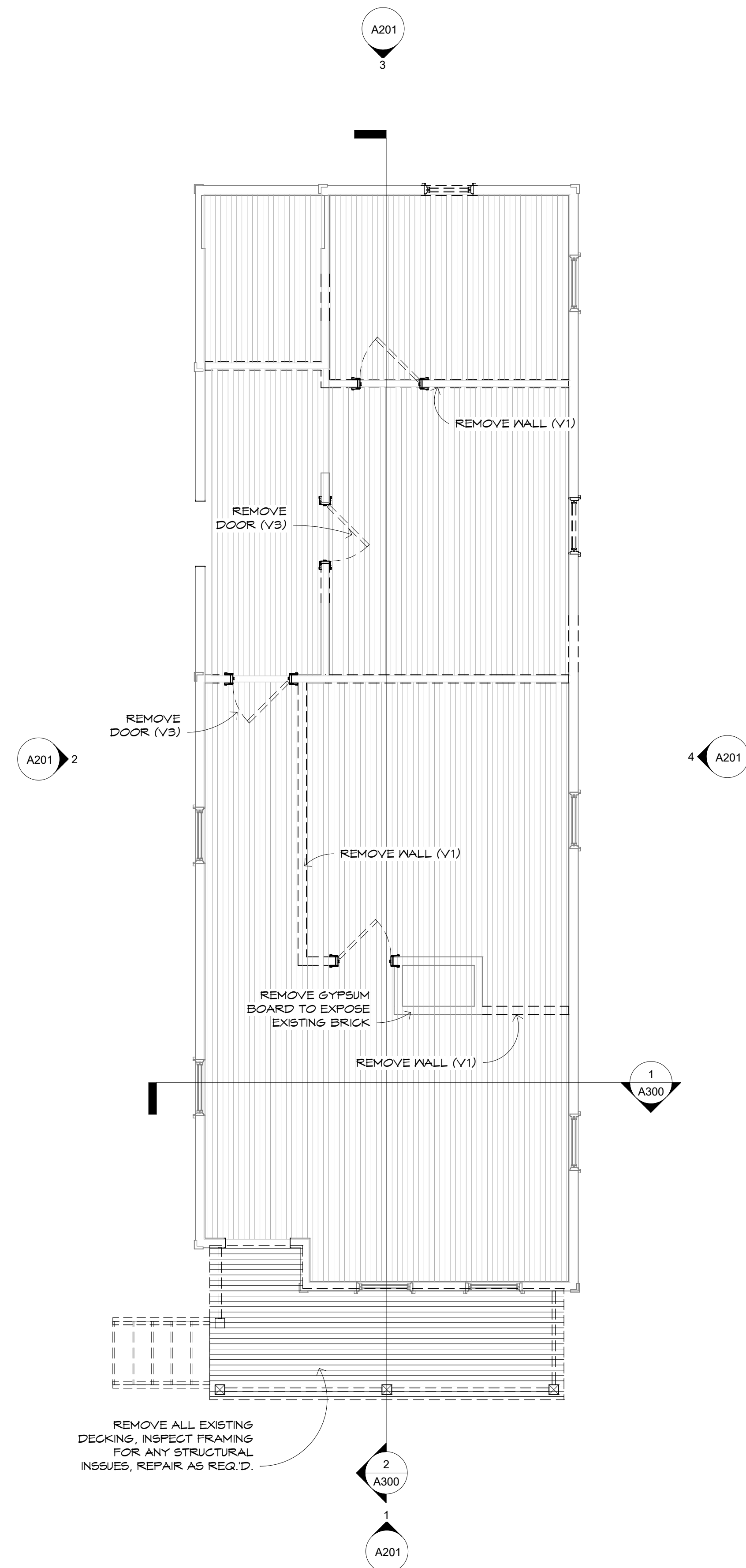
DEMOLITION

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20-010
04/18/21
Author

D101



1. SPECIFIC DEMOLITION NOTES INTENDED TO BE COMPREHENSIVE. HOWEVER, THE INTENT IS THAT THE CONTRACTOR DEMOLISH ITEMS NOT INTENDED TO BE PART OF THE FINAL WORK. REFER TO FINAL PLANS TO FULLY UNDERSTAND SPECIFIC EXTENT OF DEMOLITION. THE ARCHITECT IS AVAILABLE TO REVIEW ANY QUESTIONS WITH THE CONTRACTOR DURING THE DEMOLITION PHASE.
2. REMOVE ALL MISC. NAILS, SCREWS, HOOKS AND UNUSED HARDWARE THROUGHOUT

VERTICAL DEMOLITION, PATCHING, AND RESTORATION NOTES:

- (V1) REMOVE WOOD PARTITION FRAMING AND WALL FINISH COMPLETE.
- (V2) REMOVE WALL FINISH ONLY (GYPSUM BOARD, MOULDING, WAINSCOT). FRAMING TO REMAIN.
- (V3) REMOVE DOOR, DOOR FRAME, AND HARDWARE COMPLETE
- (V4) REMOVE CASEWORK AND COUNTERTOPS COMPLETE
- (V5) REMOVE PORTION OF WALL TO ACCOMMODATE NEW DOOR, SEE FINAL PLAN FOR EXACT LOCATION

CEILING DEMOLITION, PATCHING, AND RESTORATION NOTES:

- (C1) REMOVE ALL GYPSUM BOARD, CEILING TO BE REMOVED IN ITS ENTIRETY.
- (C2) REMOVE ALL GYPSUM BOARD & PLYWOOD TO EXPOSE ANY HVAC, ELECTRICAL, AND PLUMBING.
- (C3) SCHEDULE TIME WITH ARCHITECT FOR EXPLORATORY DEMOLITION.

MEP DEMOLITION, PATCHING, AND RESTORATION NOTES:

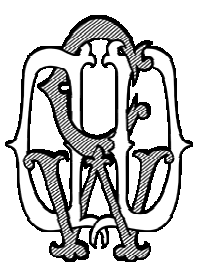
- (E1) REMOVE ALL LIGHT FIXTURES AND FANS COMPLETE.
- (E2) REMOVE ALL ELECTRICAL AND ELECTRICAL CONDUIT BACK TO THE EXISTING PANEL. PANEL TO BE REMOVED.
- (M1) REMOVE HVAC DUCTWORK COMPLETE
- (M3) REMOVE KITCHEN HOOD, VENT DUCTWORK, AND EXTERIOR EXHAUST FAN COMPLETE.
- (P1) REMOVE ALL PLUMBING FIXTURES COMPLETE. REMOVE EXISTING LINES COMPLETE BACK TO SITE UTILITY TIE-IN OR SPECIFIC LOCATION THAT WORKS WITH NEW DESIGN.

FLOOR DEMOLITION, PATCHING, AND RESTORATION NOTES:

- (F1) REMOVE ANY EXISTING FLOOR FINISHES TO THE ORIGINAL WOOD FLOORING. WHERE WOOD IS NOT SALVAGABLE PREPARE FLOOR TO RECEIVE NEW SUBFLOOR (IF NECESSARY) AND NEW WOOD FLOORING. FLOORING FINISHES THROUGHOUT THE HOUSE ARE TO BE AT THE SAME FINISH HEIGHT.

DEMOLITION NOTES
1/4" = 1'-0"

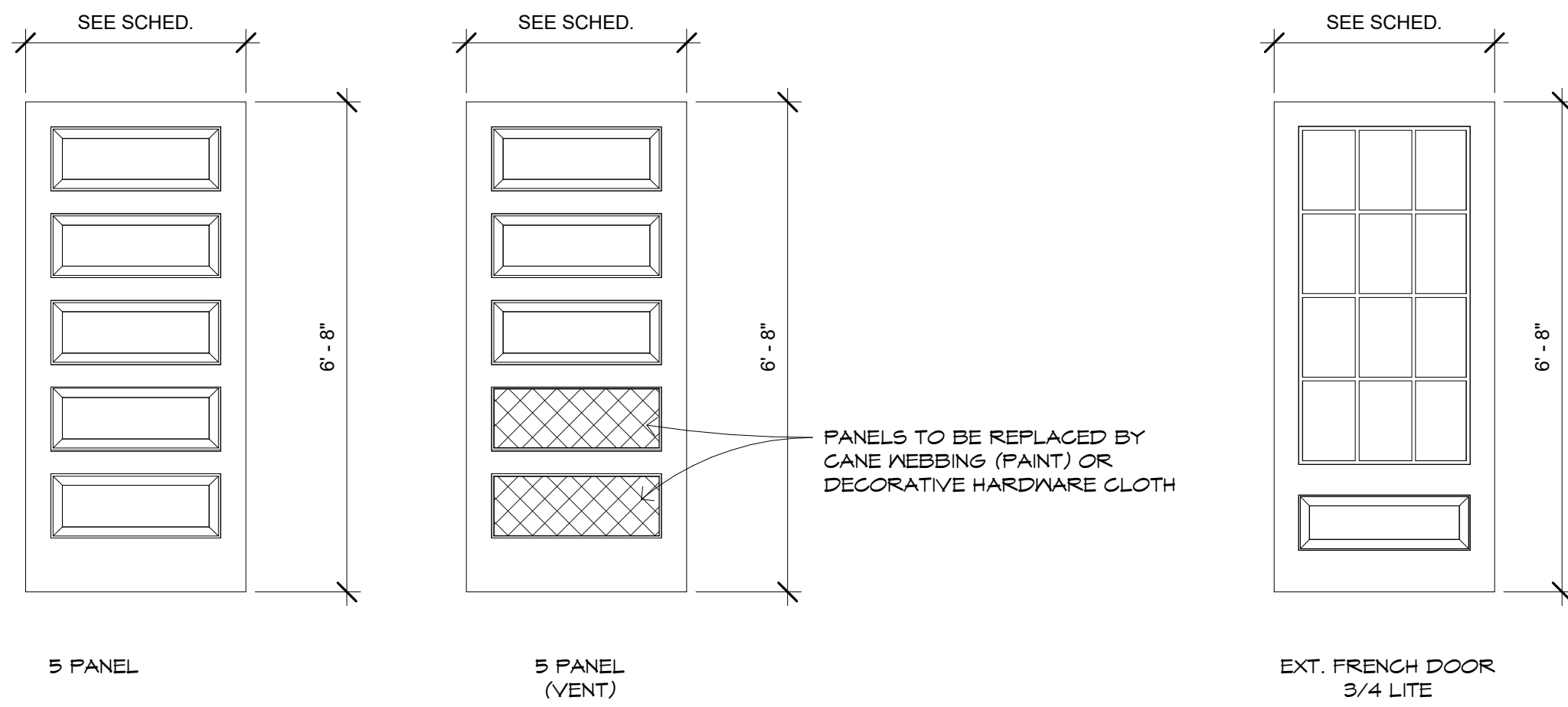
1 FIRST LEVEL - DEMOLITION
1/4" = 1'-0"



Charles W. Day
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MARK	DESCRIPTION	OPENING		DOOR				HARDWARE	COMMENTS	
		WIDTH	HEIGHT	THICKNESS	MANUFACTURER	MATERIAL	FINISH			
							EXTERIOR			INTERIOR
104	CASED OPENING	36	80		TBD					
106A	CASED OPENING	36	80		TBD					
106B	EXTERIOR FRENCH DOOR, 3/4 LITE	36	80	1-3/4"	SIMPSON	<By Category>	<By Category>	<By Category>		
107	5 PANEL	32	80		TBD	<By Category>	<By Category>	<By Category>		
108	5 PANEL	24	80		TBD	<By Category>	<By Category>	<By Category>		
110	5 PANEL	32	80		TBD	<By Category>	<By Category>	<By Category>		
111	5 PANEL	24	80		TBD	<By Category>	<By Category>	<By Category>		
112	EXTERIOR FRENCH DOOR, 3/4 LITE	36	80	1-3/4"	SIMPSON	<By Category>	<By Category>	<By Category>		
113	5 PANEL	24	80		TBD	<By Category>	<By Category>	<By Category>		
114	5 PANEL	32	80		TBD	<By Category>	<By Category>	<By Category>		
115	5 PANEL	32	80		TBD	<By Category>	<By Category>	<By Category>		



DOOR ELEVATIONS

WINDOW SCHEDULE					
MARK	DESCRIPTION	MANUFACTURER	MODEL	QTY	COMMENTS
W1	Kolbe Ultra Series Traditional Double Hung XI	Kolbe & Kolbe Millwork Co., Inc.	UDH1614	10	
W2	Kolbe Ultra Series Traditional Double Hung XI	Kolbe & Kolbe Millwork Co., Inc.	UDH1614	1	

WINDOW NOTES

- BASED ON KOLBE ULTRA SERIES (EXTRUDED ALUMINUM CLAD) AND HERITAGE SERIES (ALL WOOD) DOUBLE-HUNG WITH THE FOLLOWING:
1. ALUMINUM EXTERIOR FINISH TO BE 70% PVDF FLUOROMOLYMAR BY MANUFACTURER
 2. EXTERIOR COLOR FOR ALUMINUM CLADDING: WHITE
 3. INTERIOR WOOD SPECIES: PINE, STAIN GRADE, NO EXPOSED FINGER JOINTS
 4. EXTERIOR WOOD SPECIES (HERITAGE SERIES): PINE, STAIN GRADE, NO EXPOSED FINGER JOINTS
 5. INTERIOR FINISH: TBD
 6. LOW-E SPACER BAR TO BE BLACK
 7. TEMPERED GLASS AT BATHROOM LOCATIONS
 8. PERFORMANCE RATING FOR WIND ZONE AND WIND SPEED PER LOCAL JURISDICTION
 9. GRILLE: 7/8" SIMULATED DIVIDED LITE (KOLBE PDL); BEVELLED PROFILE BOTH SIDES.
 10. EQUALLY SPACED MUNTIN PATTERNS AS SHOWN
 11. DOOR AND WINDOW HARDWARE TO BE SELECTED FROM MANUFACTURER'S FULL RANGE OF PRODUCTS AND FINISHES
 12. EQUAL OR BETTER PRODUCTS OF SAME SIZE AND SPECIFICATIONS WILL BE CONSIDERED FROM QUALIFIED MANUFACTURERS
 13. 7'-0" HEAD HEIGHT ALL WINDOWS, EXCEPT BATH 2 WINDOW WHICH IS 6'-6" (TEMPERED).
 14. ALL WINDOW LOCATIONS ARE LOCATED AT EXISTING WINDOW OPENINGS.

NOTES - GENERAL CONSTRUCTION

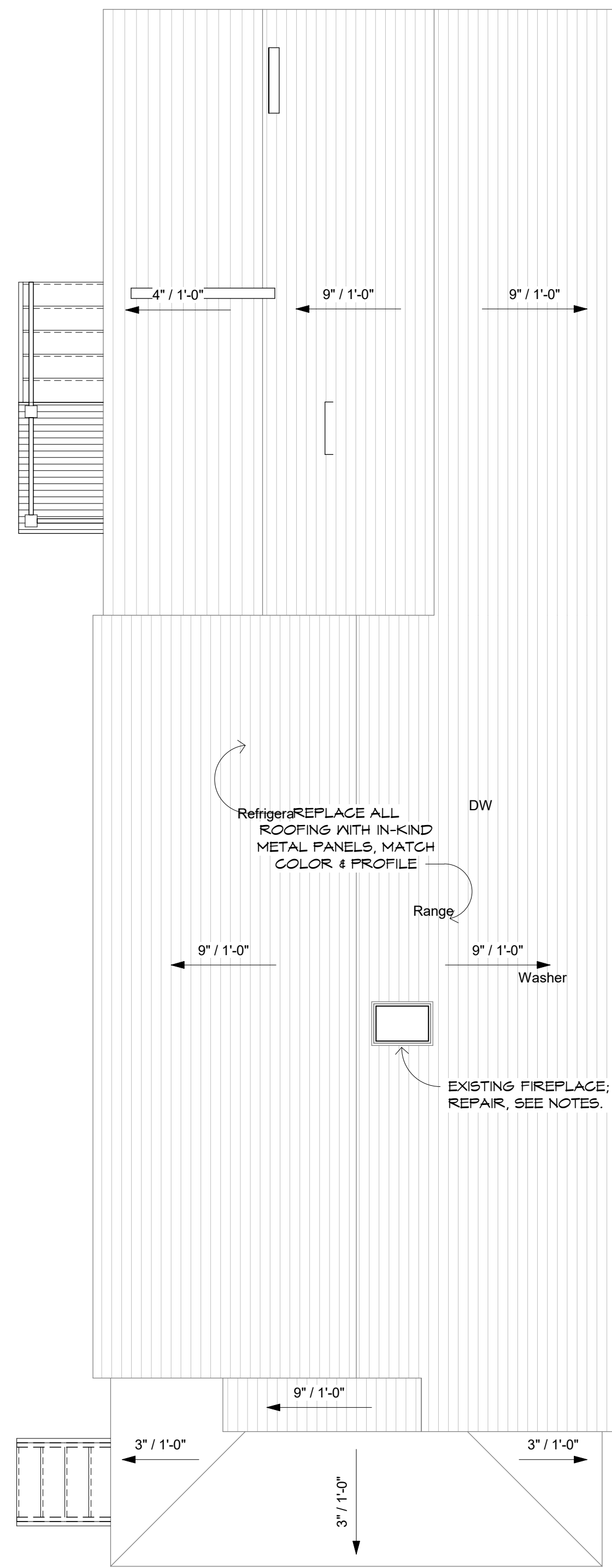
1. ALL EXTERIOR WALLS ARE 2x6 & 2x4 STUD CONSTRUCTION AND ALL INTERIOR PARTITIONS ARE 2x4 STUD CONSTRUCTION UNLESS NOTED OTHERWISE
2. ALL DIMENSIONS ARE FROM EXISTING FACE OF FINISH TO FACE OF NEW 2x FRAMING
3. ALL ASPECTS OF CONSTRUCTION MUST BE IN COMPLIANCE WITH CURRENT LOCAL BUILDING CODES, INCLUDING ALL APPLICABLE ADOPTED CODES BY ICC, DOJ, NFPA, FEMA, DNR, ETC.
4. CONTRACTOR SHALL IMMEDIATELY REPORT TO ARCHITECT ANY DISCREPANCIES, INCONSISTENCIES, OR AMBIGUITIES FOUND BETWEEN THE DRAWINGS, SPECIFICATIONS, AND/OR SITE CONDITIONS
5. CONTRACTOR SHALL PROVIDE SUBMITTALS FOR REVIEW AND APPROVAL OF ALL MAJOR ASPECTS OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO: CASEWORK, ROOFING, DOORS, WINDOWS, FINISHES, FIREPLACES, ACCESSORIES, APPLIANCES, COUNTERTOPS, PLUMBING FIXTURES, HVAC EQUIPMENT, AND LIGHTING FIXTURES
6. PROVIDE HURRICANE STRAPS/TIE DOWNS FOR ALL FOUNDATION/FLOOR/WALL/ROOF CONNECTIONS TO MEET OR EXCEED CODE, SIMPSON OR EQUAL, TYPICAL

CHIMNEY REPAIR:

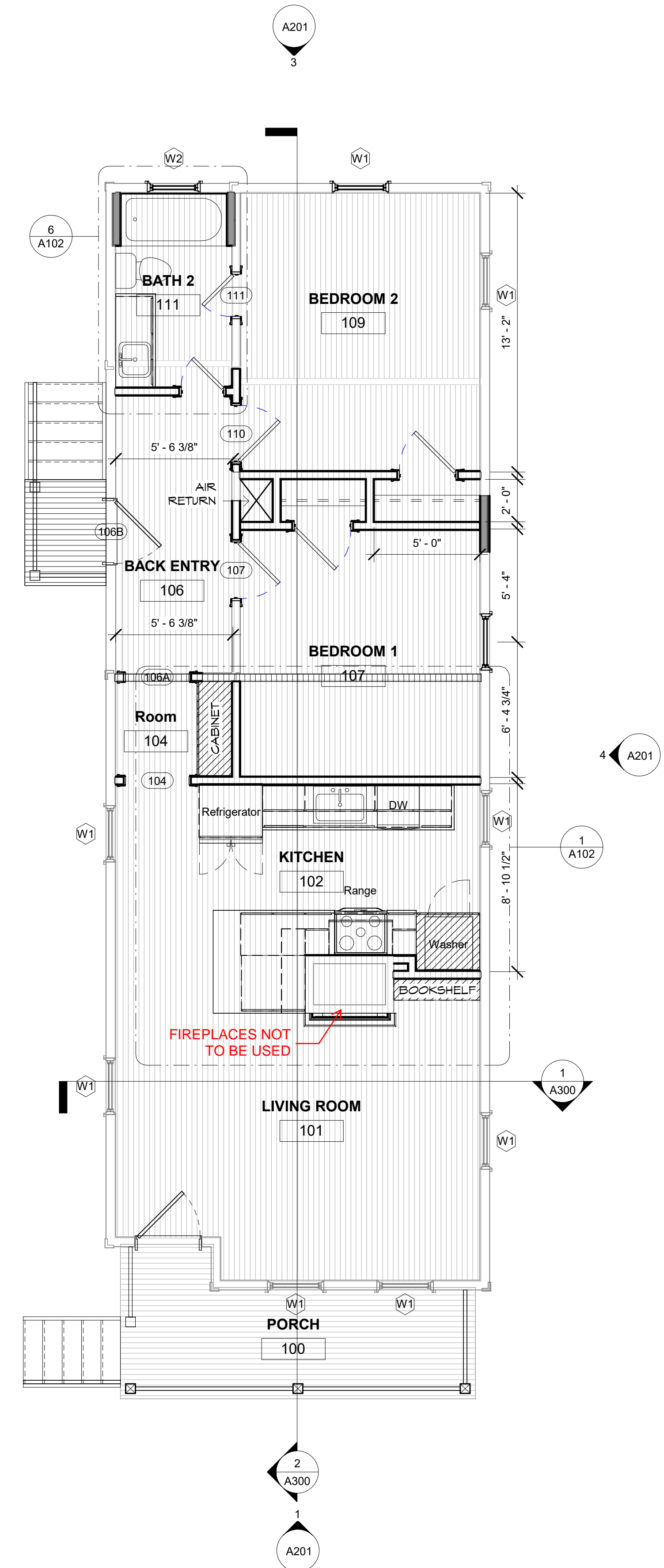
1. REMOVE DETERIORATED MORTAR BY CAREFULLY HAND-RAKING THE JOINTS TO AVOID DAMAGING THE MASONRY.
2. DUPLICATE OLD MORTAR IN STRENGTH, COMPOSITION, COLOR, AND TEXTURE.
3. DUPLICATE OLD MORTAR JOINTS IN WIDTH AND IN JOINT PROFILE.
4. PIECE IN NEW BRICK TO REPLACE DAMAGED OR DETERIORATED BRICK. NEW BRICK SHOULD MATCH THE EXISTING BRICK IN COLOR & TEXTURE.

NOTES - CABINETS

1. ALL CABINETS AND SHELVING TO BE PAINTED, SOLID COLOR, MEDIUM SHEEN
2. SHELVING TO BE ADJUSTABLE, 3/4" PLYWOOD WITH 1" HARDWOOD NOSING
3. COUNTERTOP MATERIALS PER FINISH SCHEDULE
4. ALL CABINETS TO HAVE FULL OVERLAY DOORS AND DRAWERS THROUGHOUT, 3/4" THICK DOORS & DRAWER FRONTS, SHAKER STYLE. DOORS WILL BE STILE AND RAIL CONSTRUCTION WITH SOLID WOOD OR MDF PANELS; SOLID WOOD TO BE USED FOR ALL FACE FRAMES, DRAWER FRONTS, DRAWER BOXES, SHELVES, AND TRIM. DRAWERS TO HAVE DOVETAILED CORNERS AND 1/2" PLYWOOD BOTTOMS DADOED INTO SIDES
5. CABINET BOXES TO HAVE 3/4" PLYWOOD SIDES, 1/2" PLYWOOD BACKS, PAINTED INTERIORS TO MATCH EXTERIOR
6. FINISHED ENDS TO BE paneled TO MATCH CABINET DOORS
7. DOORS TO BE HUNG WITH BLUM (BLUMOTION) CONCEALED HINGES; DRAWERS TO BE HUNG USING BLUM (BLUMOTION) SOFT-CLOSING, FULL EXTENSION, UNDER MOUNT, BALL BEARING GUIDES
8. CABINET PULLS
 - A. (TYPICAL) HICKORY HARDWARE - P3672-BI 4" CABINET PULL
 - B. (BRIDAL SUITE & POWDER) ATLAS HOMEWARES: SHELLY 3" PULL - CHAMPAGNE



2 ROOF PLAN
1/4" = 1'-0"



1 FIRST LEVEL - PROPOSED
1/4" = 1'-0"

20-010
LOVER'S OAK COTTAGES
1400 BLOCK OF PRINCE STREET
BRUNSWICK, GA 31520

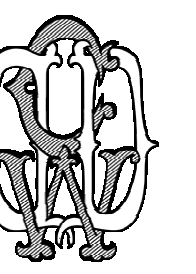
FLOOR PLAN &
ELEVATIONS

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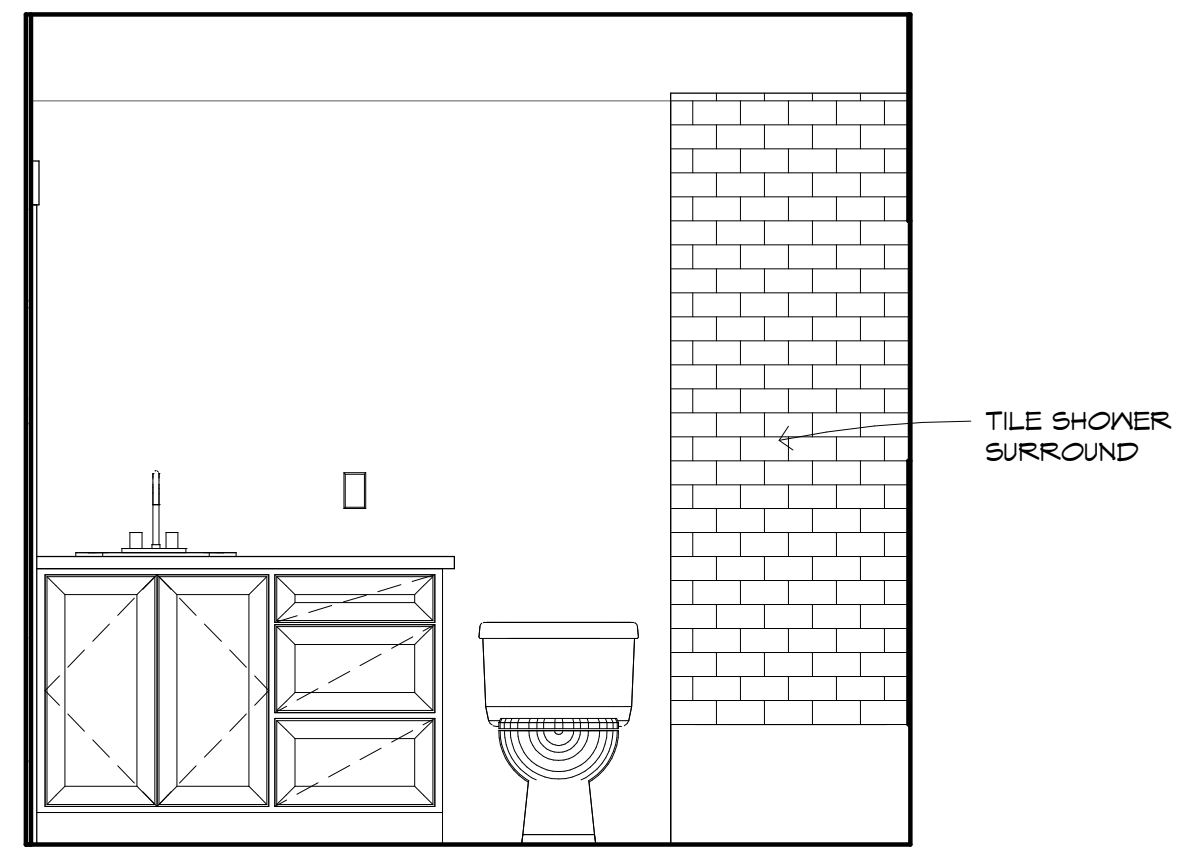
ENLARGED PLANS &
ELEVATIONS

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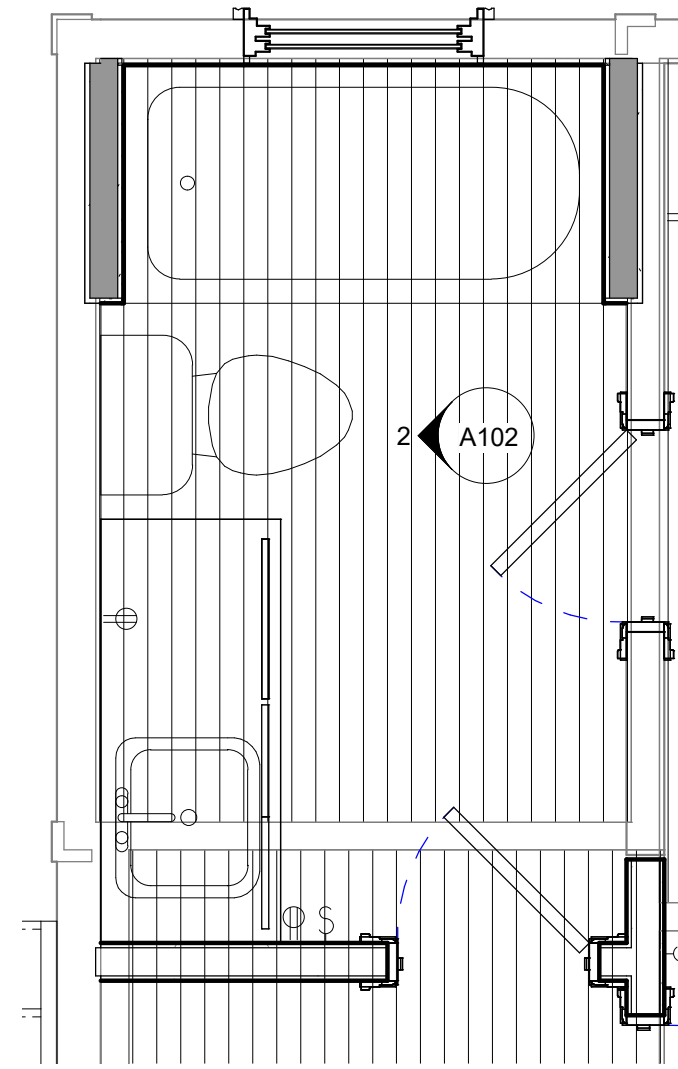
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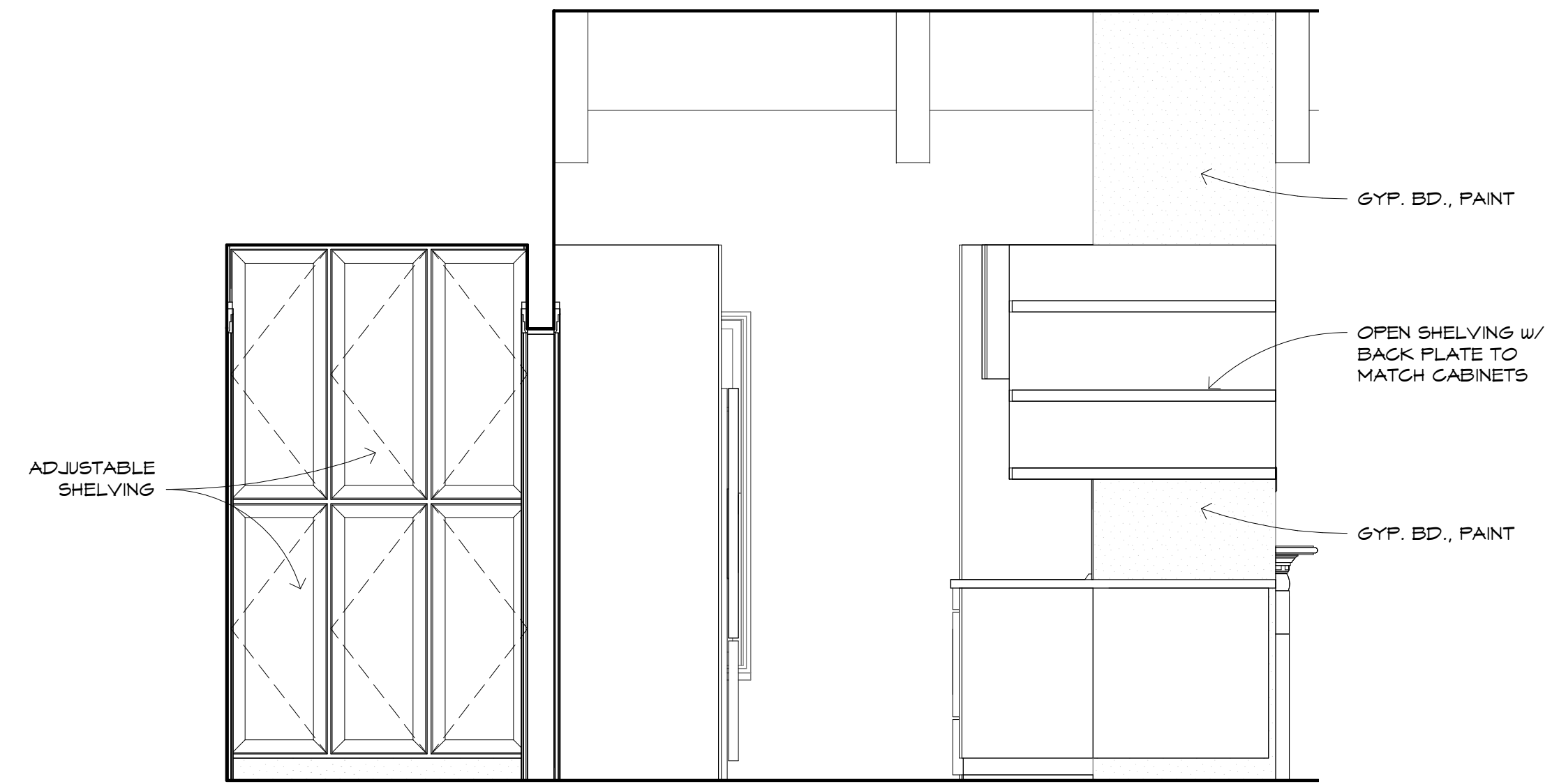
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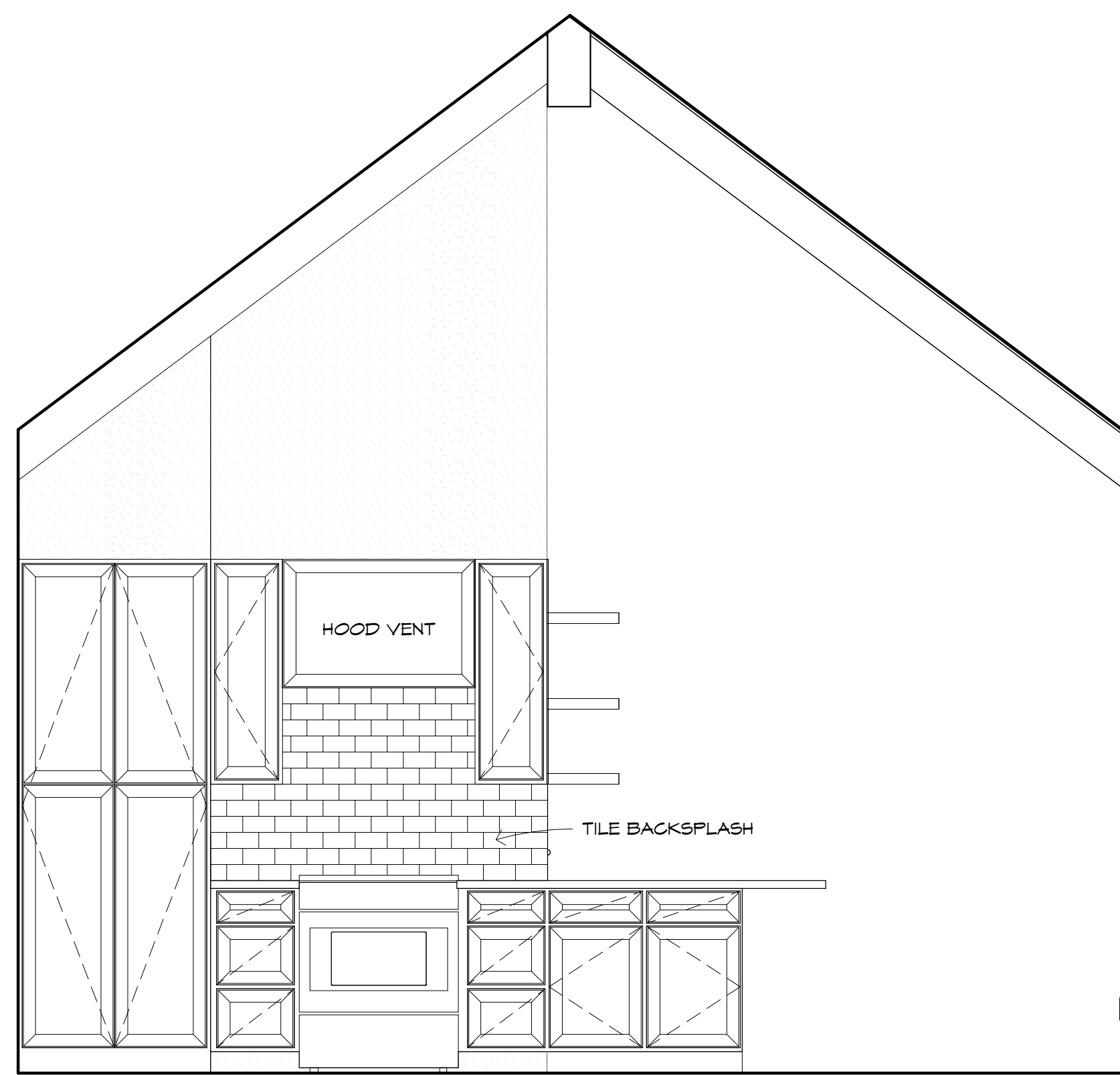
2 BATHROOM ELEVATION
1/2" = 1'-0"



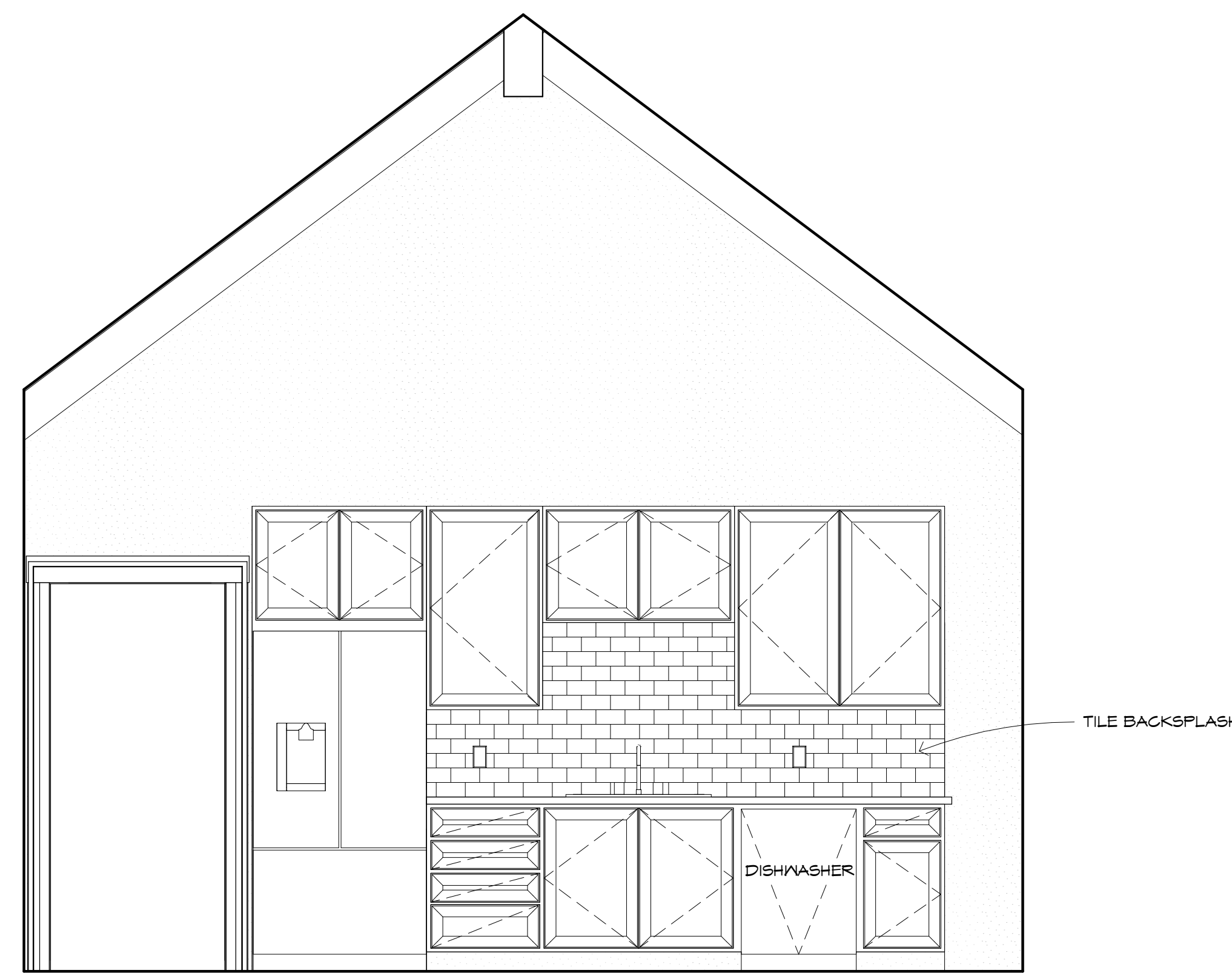
6 FIRST LEVEL - Callout 2
1/2" = 1'-0"



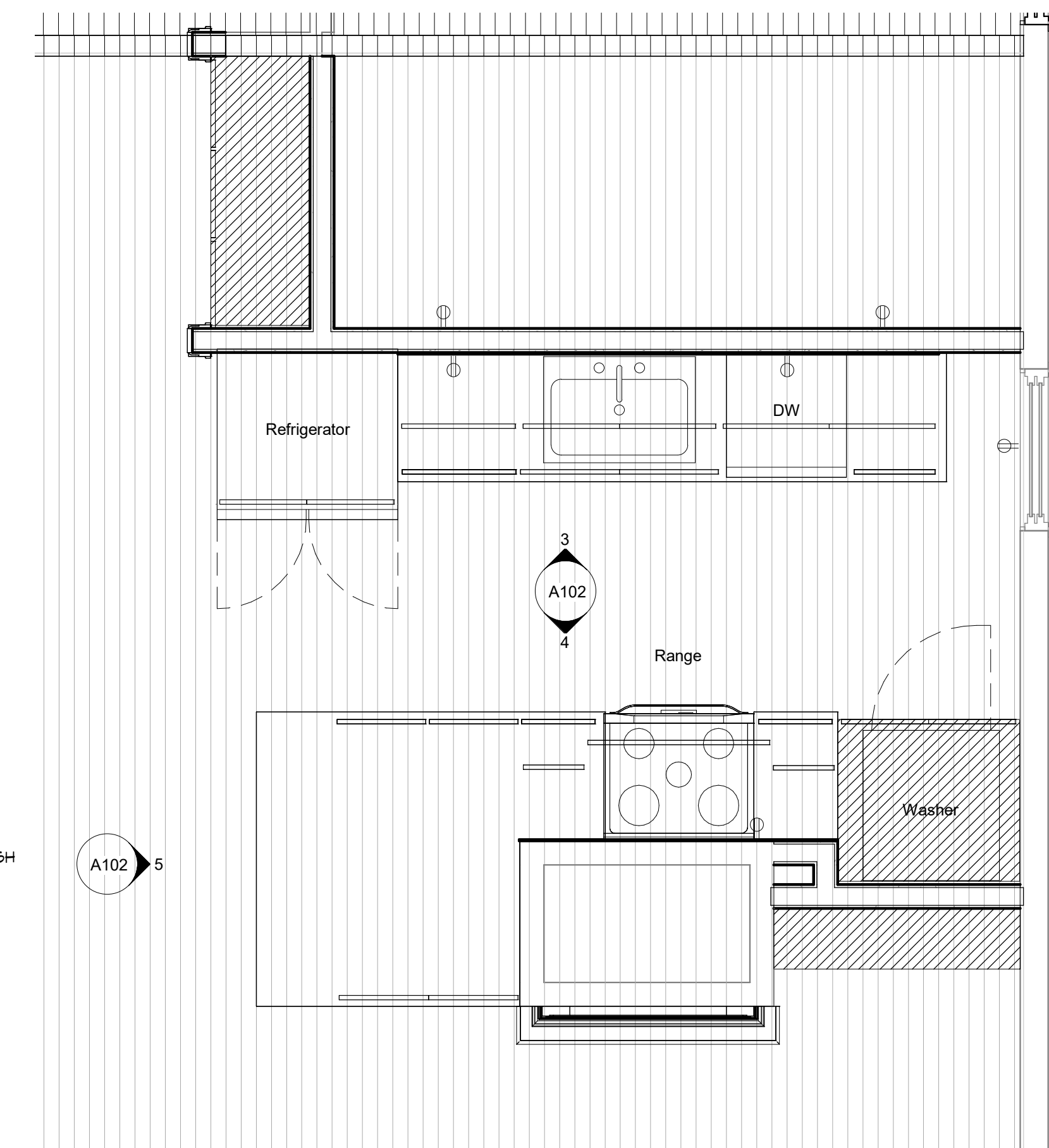
5 KITCHEN ELEVATION - C
1/2" = 1'-0"



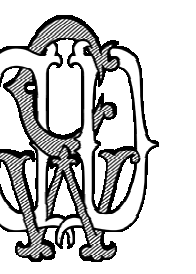
4 KITCHEN ELEVATION - B
1/2" = 1'-0"



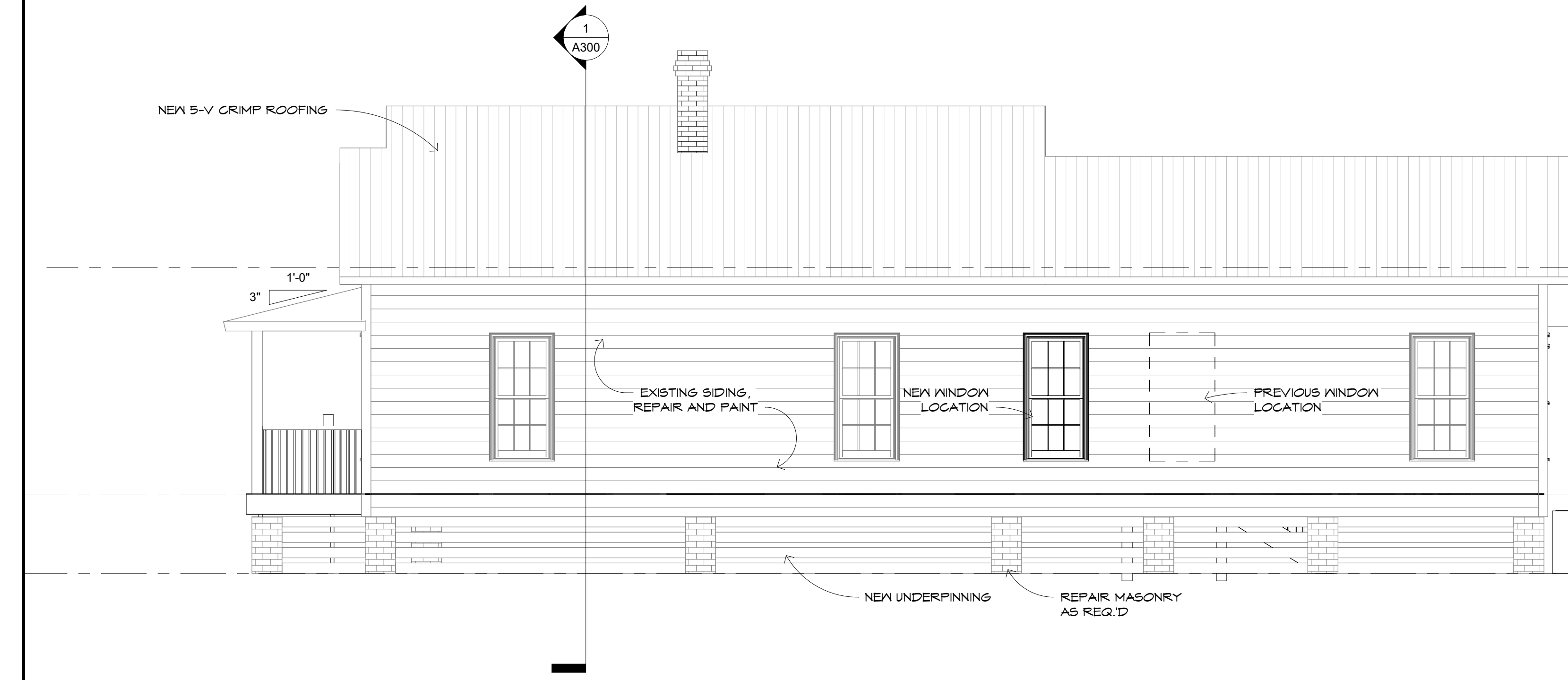
3 KITCHEN ELEVATION - A
1/2" = 1'-0"



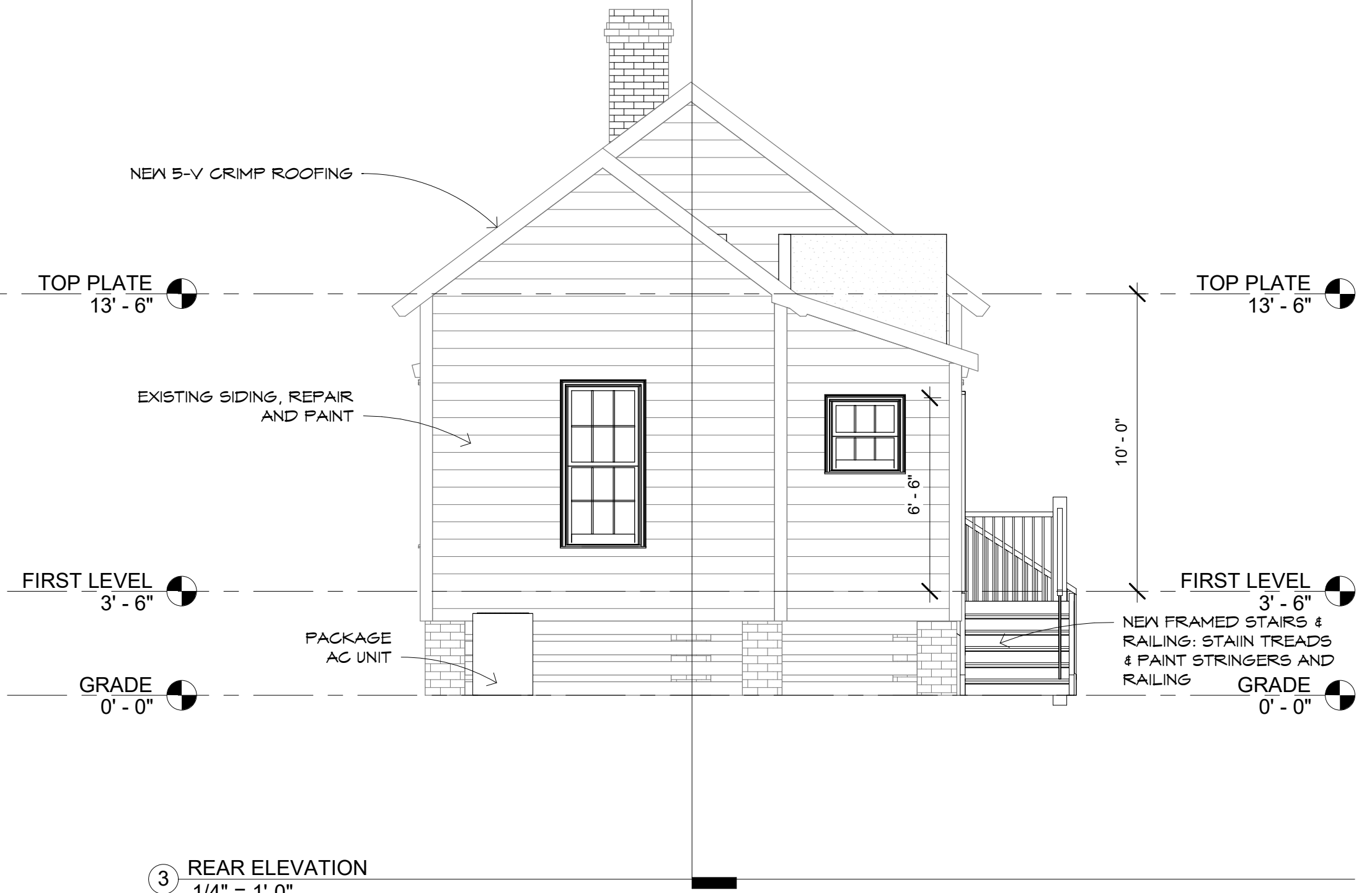
1 FIRST LEVEL - Callout 1
1/2" = 1'-0"



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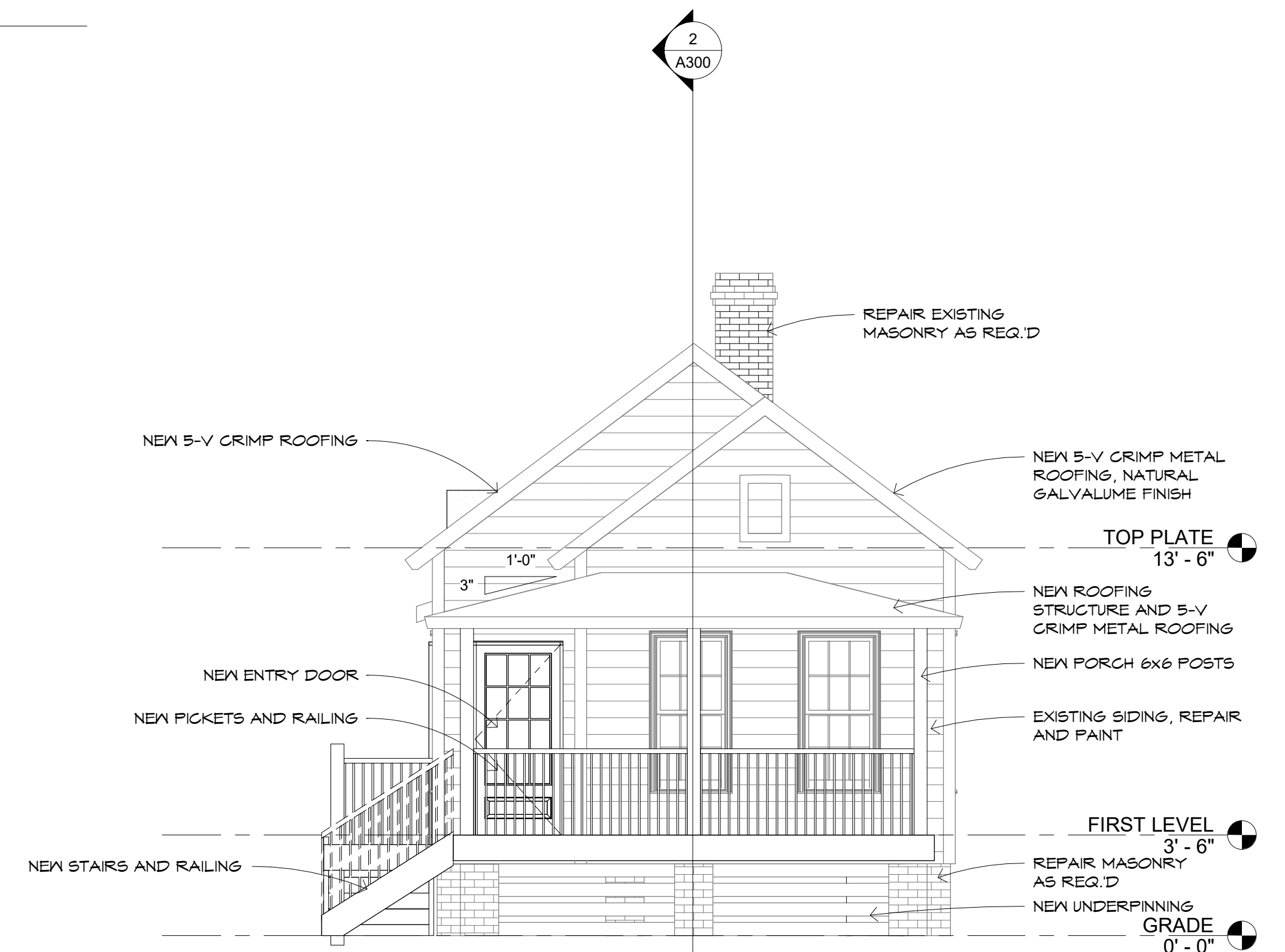
4 SIDE ELEVATION - WEST
1/4" = 1'-0"



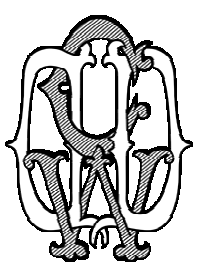
3 REAR ELEVATION
1/4" = 1'-0"



2 SIDE ELEVATION - EAST
1/4" = 1'-0"



1 FRONT ELEVATION
1/4" = 1'-0"



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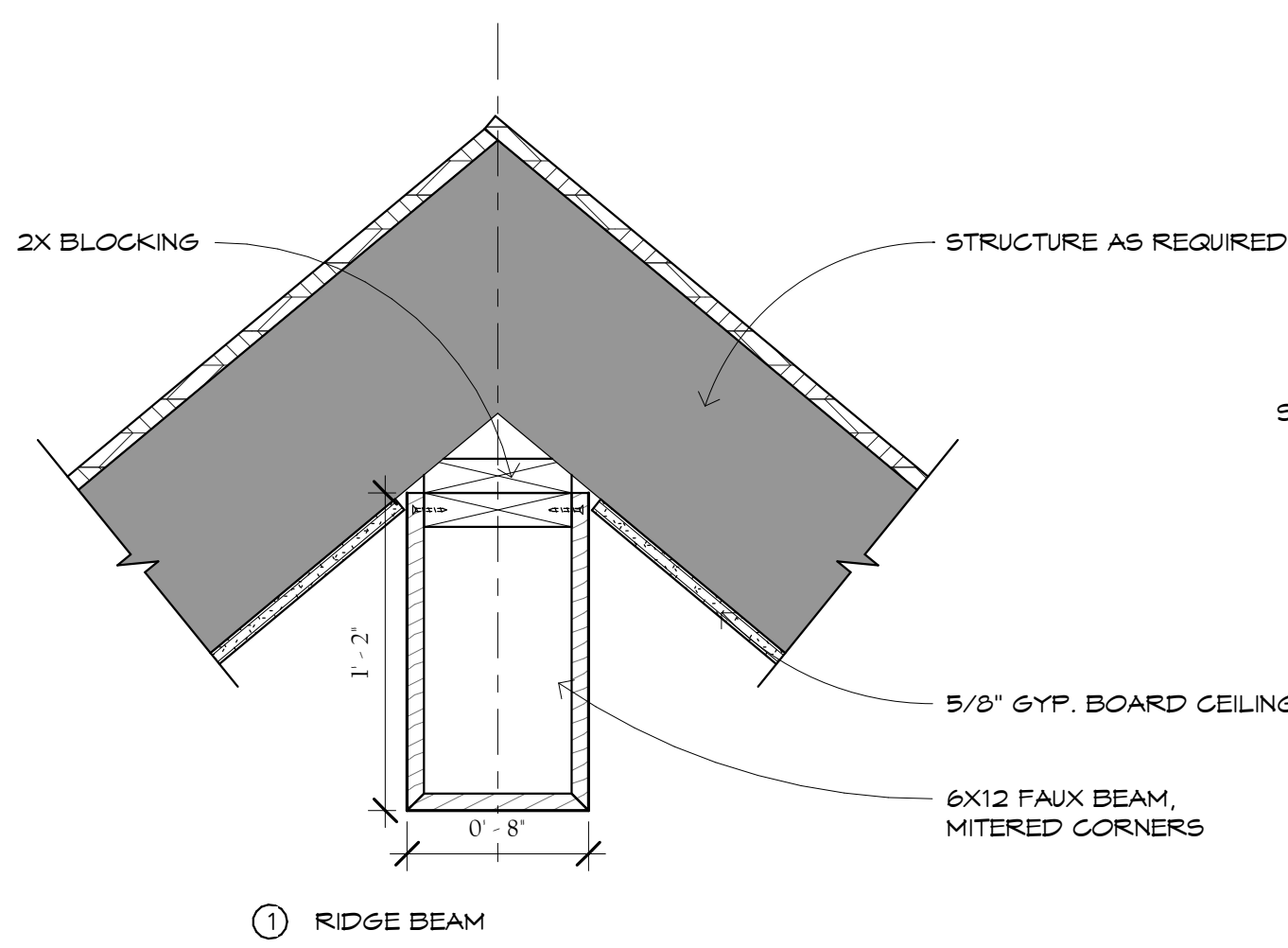
SECTIONS

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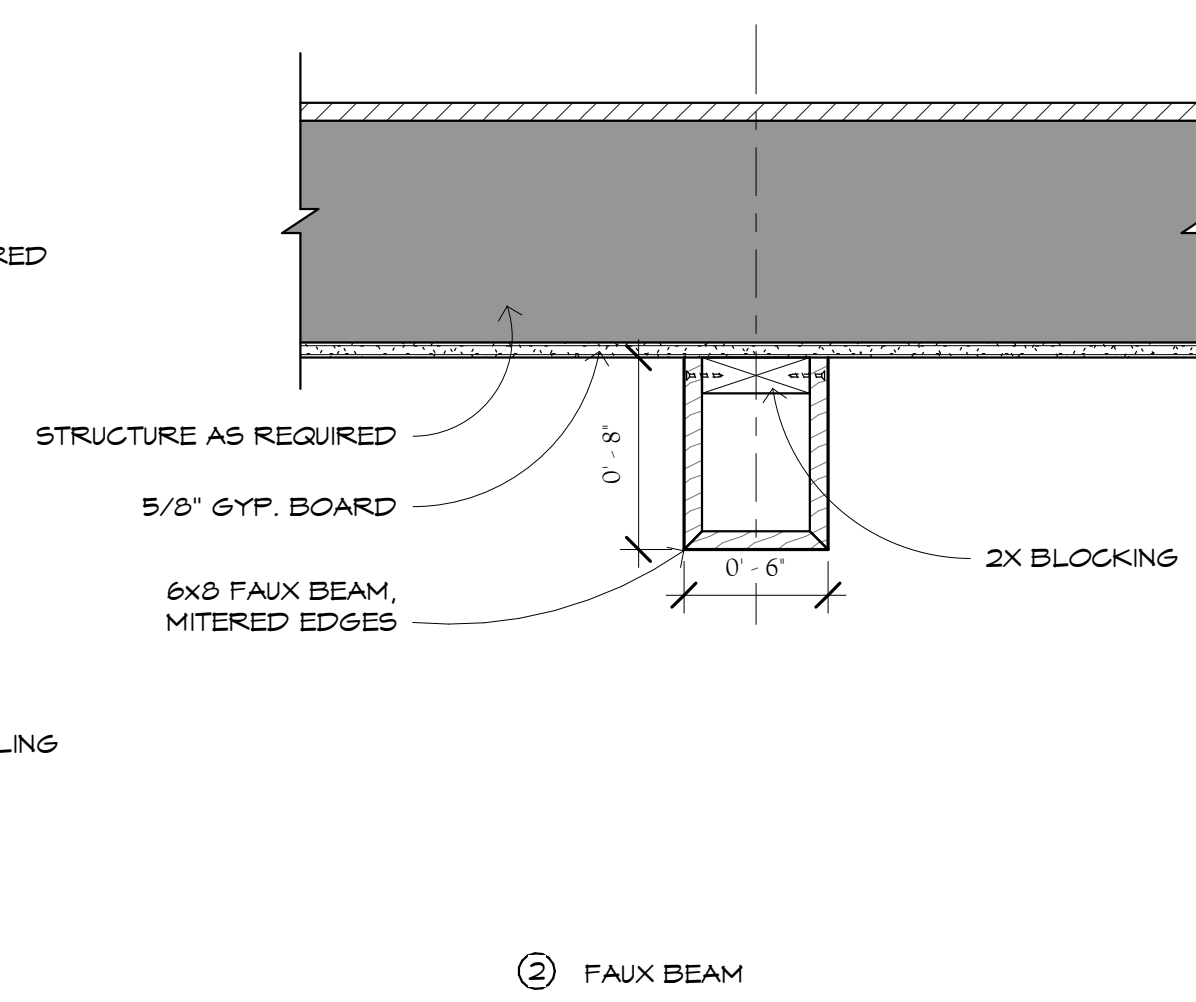
PERMIT SET

20-010
04/08/21
Author

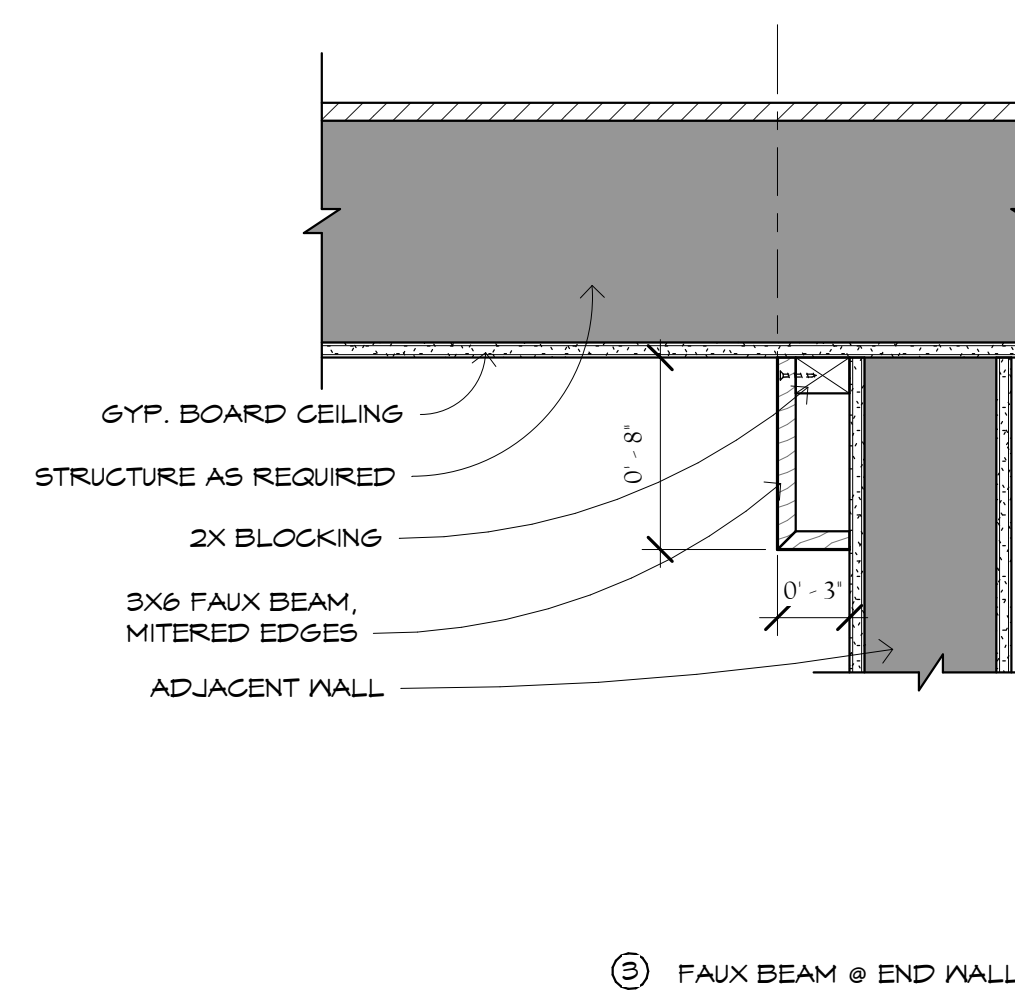
A300



① RIDGE BEAM

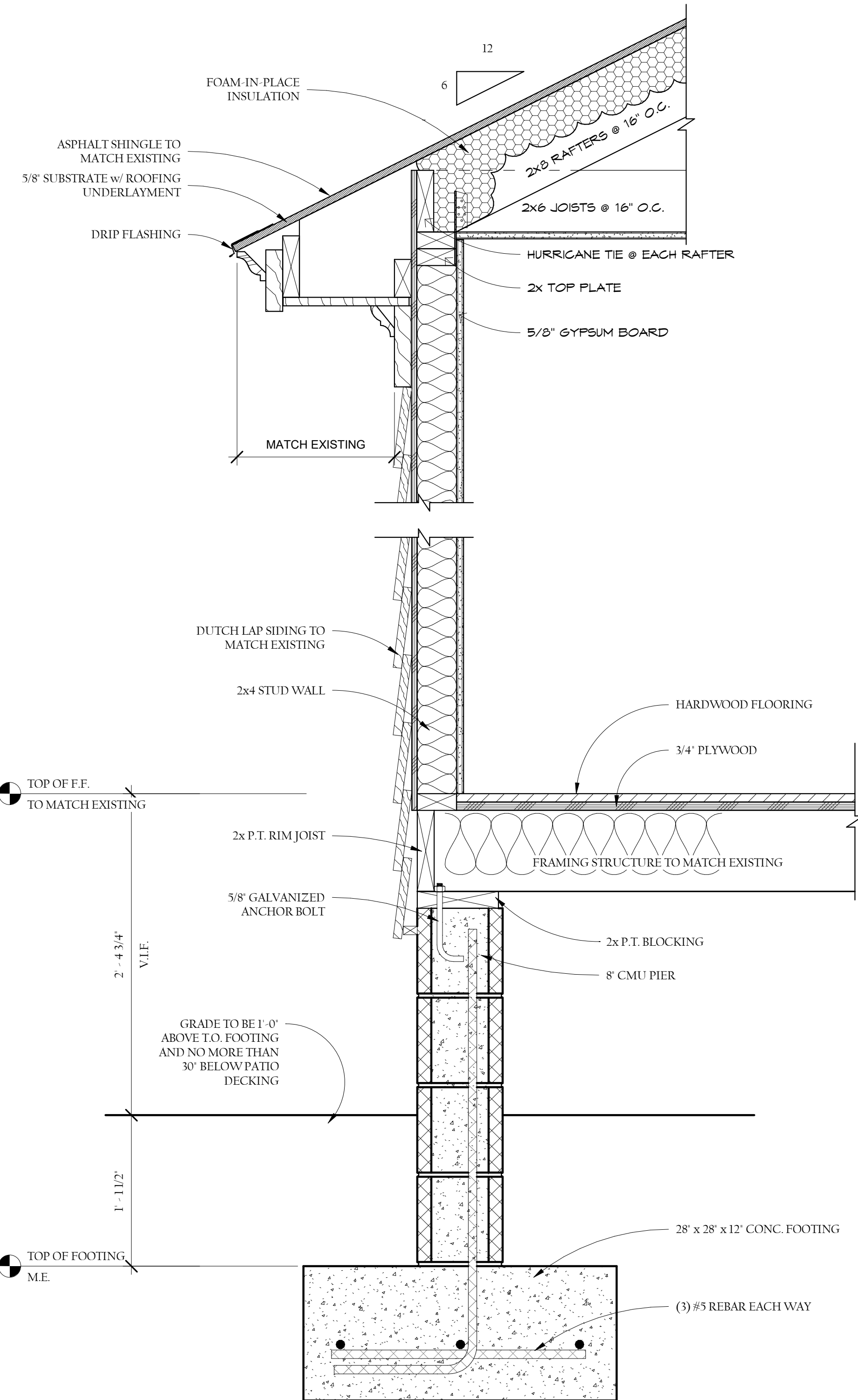


② FAUX BEAM

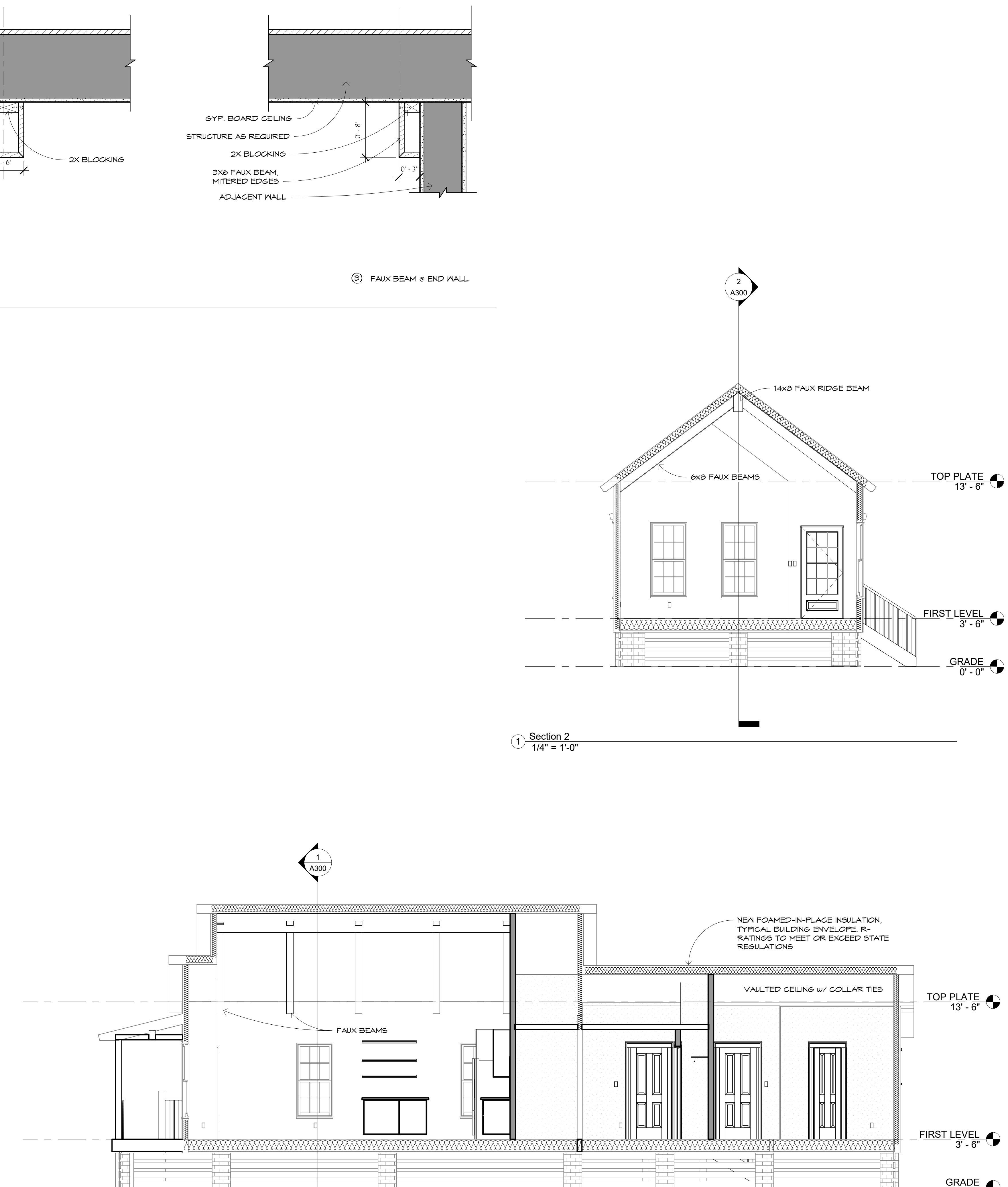


③ FAUX BEAM @ END WALL

④ FAUX BEAM DETAILS
1 1/2" = 1'-0"

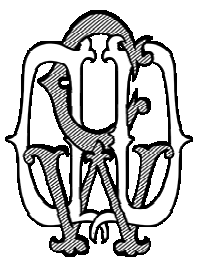


③ Typical Wall Section
1 1/2" = 1'-0"



② Section 3
1/4" = 1'-0"

① Section 2
1/4" = 1'-0"



Charles W. Day
DESIGN

708 RICHMOND STREET
BRUNSWICK, GA 31520
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931-265-3287

20-010
LOVER'S OAK COTTAGES
1400 BLOCK OF PRINCE STREET
BRUNSWICK, GA 31520

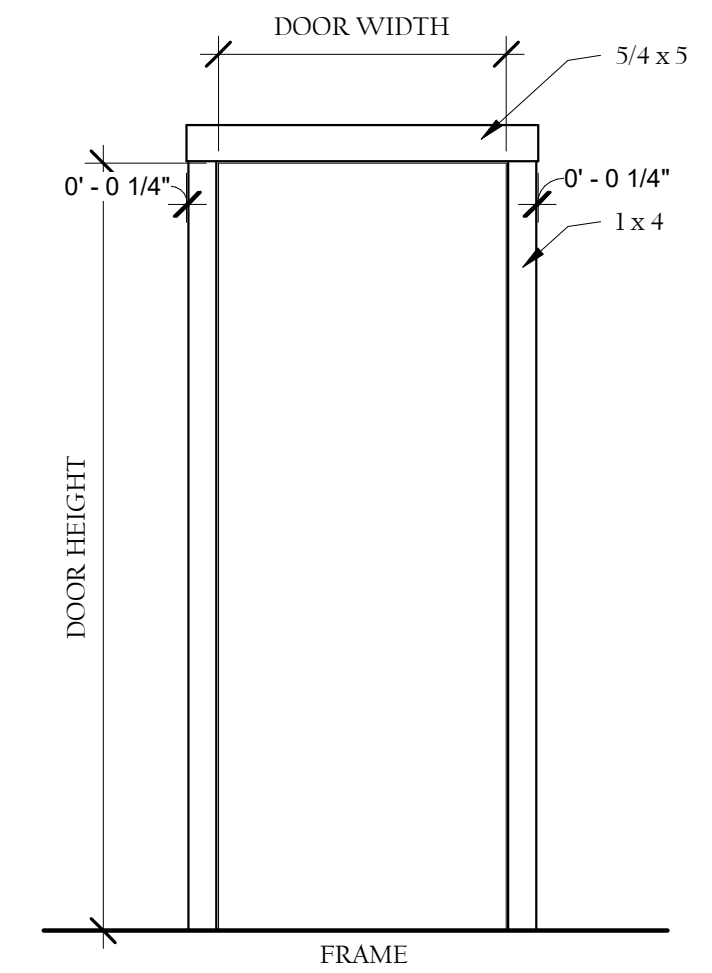
DETAILS

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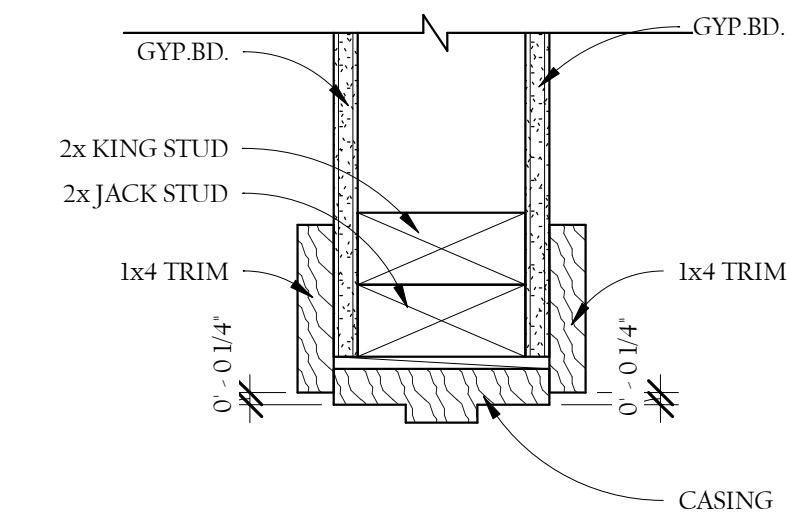
PERMIT SET

20-010
04/18/21
Author

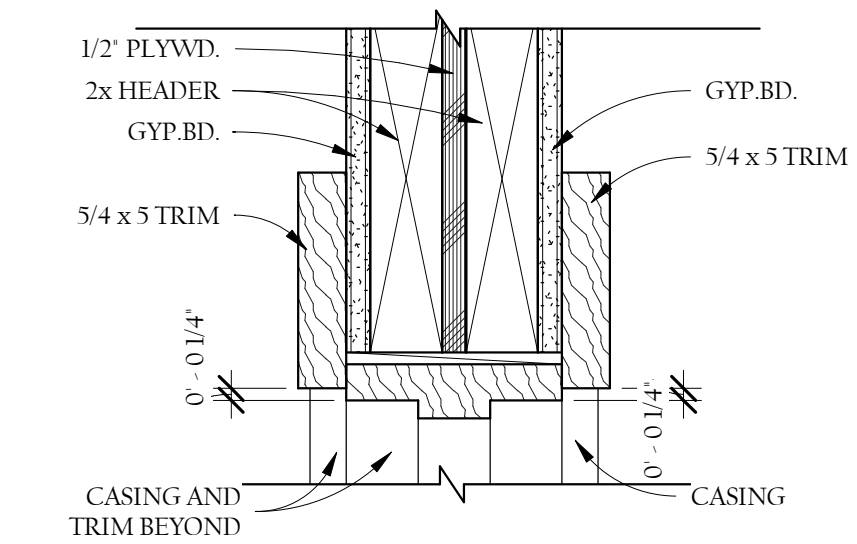
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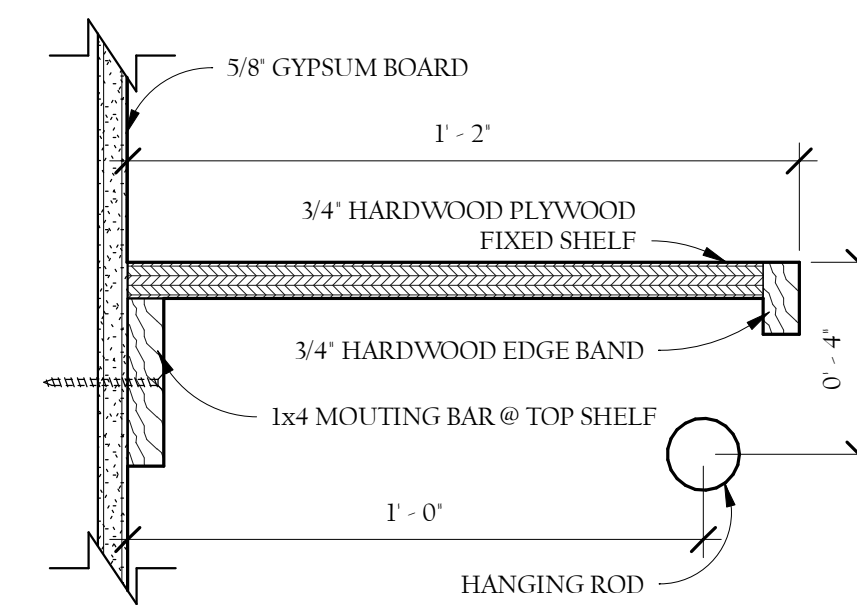
④ DOOR FRAME ELEVATION
1/2" = 1'-0"



③ DOOR FRAME DETAIL - JAMB
3" = 1'-0"



② DOOR FRAME DETAIL - HEAD
3" = 1'-0"



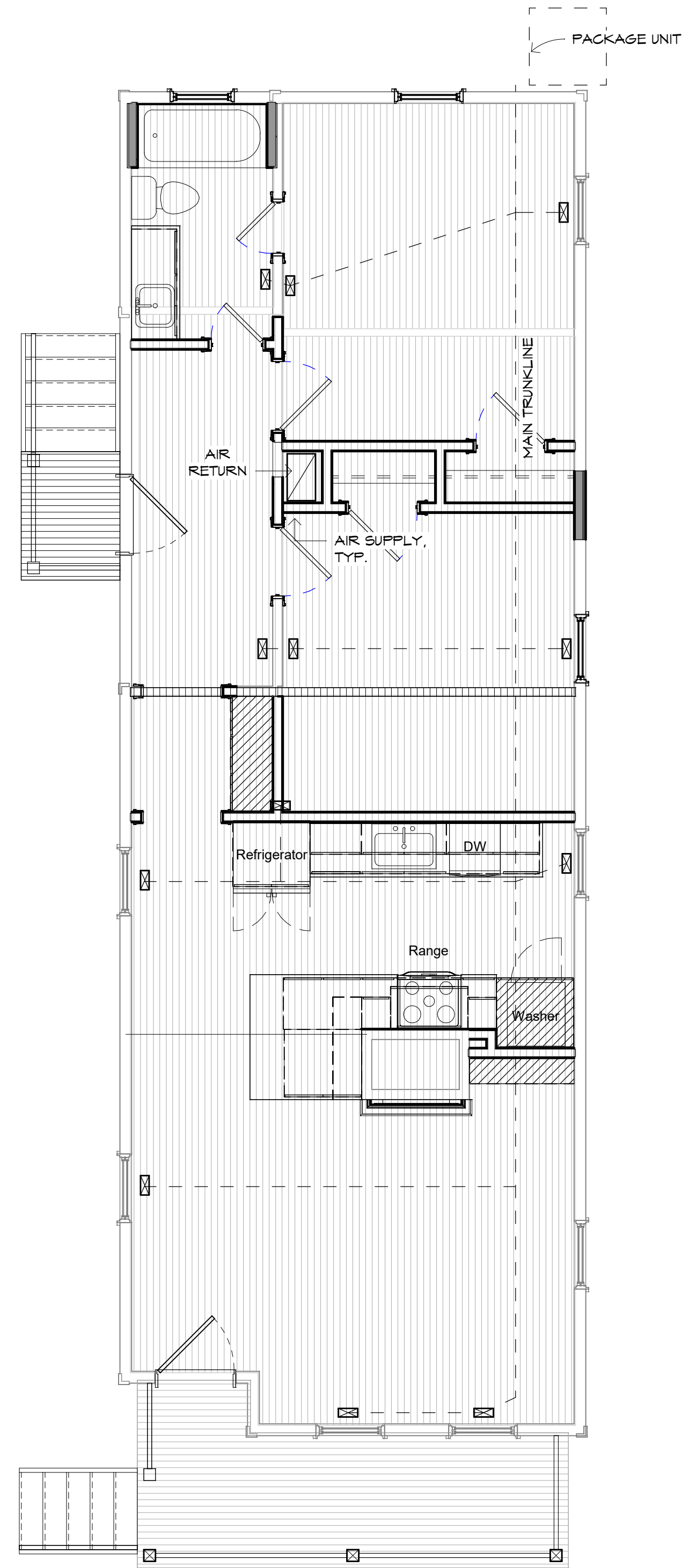
① CLOSET SHELF DETAIL
3" = 1'-0"

PLUMBING NOTES

1. ALL PLUMBING EQUIPMENT AND INSTALLATIONS SHALL CONFORM WITH THE REQUIREMENTS OF THE 2012 INTERNATIONAL PLUMBING CODE, 2012 INTERNATIONAL BUILDING CODE, THE STATE ENERGY CODE, NFPA 90A, 901, AND ALL APPLICABLE CODES AND ORDINANCES.
2. PRIOR TO PURCHASING ANY MATERIALS OR STARTING ANY WORK, CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, PIPE SIZES AND LOCATIONS, EQUIPMENT, ETC. SHOWN ON THE DRAWINGS OR AFFECTING THIS WORK AND SHALL REPORT ANY DEVIATIONS TO THE ARCHITECT. CHANGE ORDERS SHALL NOT BE PERMITTED FOR FAILURE TO EVALUATE EXISTING CONDITIONS PRIOR TO BID.
3. SHOP DRAWINGS SHALL BE SUBMITTED TO AND APPROVED BY ARCHITECT PRIOR TO ORDERING, PURCHASING, OR FABRICATING ANY PLUMBING EQUIPMENT. SHOP DRAWINGS SHALL INCLUDE ALL NEW EQUIPMENT SCHEDULED PER SPECIFIED ON THE DRAWINGS. SHOP DRAWINGS SHALL HAVE THE EQUIPMENT LABELED TO MATCH THE UNIT DESIGNATION SHOWN ON THE DRAWINGS. PROVIDE ALL INFORMATION INDICATED IN THE SCHEDULES OR ON THE DRAWINGS. SUBMIT ALL EQUIPMENT AT THE SAME TIME IN ELECTRONIC FORMAT.
4. CONTRACTOR SHALL COORDINATE ELECTRICAL CHARACTERISTICS AND REQUIREMENTS OF ALL PLUMBING EQUIPMENT WITH ELECTRICAL DRAWINGS PRIOR TO ORDERING EQUIPMENT OR SUBMITTING SHOP DRAWINGS, AND SHALL FURNISH EQUIPMENT WIRED FOR THE VOLTAGES SHOWN THEREIN.
5. ALL PLUMBING EQUIPMENT REQUIRING ELECTRICAL POWER SHALL BE INSTALLED WITH DISCONNECT SWITCHES AT EACH PIECE OF EQUIPMENT. COORDINATE SWITCH TYPE (FUSED OR NON-FUSED) WITH EQUIPMENT CHARACTERISTICS, MANUFACTURER'S RECOMMENDATIONS AND ELECTRICAL DRAWINGS.
6. ALL REQUIRED CONTROL WIRING NOT SHOWN ON THE ELECTRICAL DRAWINGS SHALL BE INCLUDED AS PART OF THE PLUMBING WORK. ANY CABLE ROUTED IN A RETURN AIR FLENUM SHALL BE FLENUM RATED.
7. ALL PLUMBING EQUIPMENT SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
8. ALL PLUMBING EQUIPMENT AND SYSTEMS SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER ACCEPTANCE BY OWNER.
9. ALL PERMITS SHALL BE OBTAINED AND PAID FOR BY THE PLUMBING CONTRACTOR.
10. PRESURE TEST ALL PIPING AFTER INSTALLATION. VALVE OFF ANY EQUIPMENT THAT MAY BE SUBJECT TO SEAL FAILURE DUE TO TESTING.
11. ABOVE GROUND DOMESTIC WATER PIPING SHALL BE TYPE "L" COPPER, COMMERCIAL GRADE PEK TYPE PIPING, OR CODE APPROVED ALTERNATIVE. BELOW GROUND DOMESTIC WATER PIPING SHALL BE CODE APPROVED PVC.
12. ABOVE GROUND SANITARY PIPING SHALL BE SCHEDULE 40 PVC DWV. BELOW GRADE SANITARY PIPING SHALL BE SCHEDULE 40 PVC DWV. ALL PIPING IN A RETURN AIR FLENUM SHALL BE FLENUM RATED.
13. DOMESTIC HOT WATER PIPING SHALL BE INSULATED WITH 1" ARMSTRONGS ARAMFLEX INSULATION, DOMESTIC COLD WATER WITH 1/2" ARMSTRONGS ARAMFLEX INSULATION IN STRICT ACCORDANCE TO THE MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.
14. PROVIDE ASSE 1010 MIXING VALVE AT EACH HAND SINK.
15. THE ENTIRE DOMESTIC WATER PLUMBING SYSTEM SHALL BE TESTED TO A PRESSURE OF 125 PSI FOR 6 HOURS OR AS REQUIRED BY LOCAL CODE. THE SANITARY SYSTEM SHALL BE TESTED IN ACCORDANCE WITH STATE AND LOCAL CODES WHERE REQUIRED. SUBMIT CERTIFIED TEST REPORT TO ARCHITECT FOR APPROVAL. ALL INSPECTIONS, TESTS, SURVEYS, AND ANY OTHER REQUIREMENTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
16. ALL WORK SHALL BE COORDINATED AND PERFORMED WITH PRIOR APPROVAL FROM THE OWNER TO SUIT HIS OPERATING CONDITIONS.
17. ANY EXISTING WALL, FLOOR, OR CEILING SURFACE THAT IS TO BE DISTURBED DURING THE COURSE OF THE PLUMBING WORK SHALL BE REPAIRED TO MATCH NEW AND/OR EXISTING CONDITIONS.
18. CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL PLUMBING EQUIPMENT, PIPING, ETC. TO FIT WITHIN THE SPACE ALLOWED BY THE ARCHITECTURAL AND STRUCTURAL CONDITIONS. CUTTING OR OTHERWISE ALTERING ANY STRUCTURAL MEMBERS SHALL NOT BE PERMITTED WITHOUT WRITTEN PERMISSION FROM THE ENGINEER/ARCHITECT.
19. PROVIDE ACCESS PANELS IN NON-ACCESSIBLE CEILING AND IN WALL STRUCTURE TO ALLOW ADEQUATE ROOM FOR MAINTENANCE OF EQUIPMENT AND BALANCING OF SYSTEM AS WELL AS ACCESS TO VALVES WHERE REQUIRED.
20. PROVIDE WATER HAMMER ARRESTORS AT THE EACH END OF EACH DOMESTIC RUN OF PIPING.
21. COORDINATE DRAIN PENETRATIONS WITH STRUCTURAL, ARCHITECTURAL, AND MECHANICAL DRAWINGS. KEEP VENTS A MINIMUM OF 10'-0" FROM BUILDING INTAKES.
22. COORDINATE WATER METERS WITH CIVIL ENGINEERING AND CITY WATER AHJ. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR METERS UNLESS COORDINATED OTHERWISE.
23. THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND DO NOT NECESSARILY REFLECT ALL EXISTING CONDITIONS OR ACTUAL ROUTING. CONTRACTOR SHALL HAVE LATITUDE TO ADJUST ROUTING AS REQUIRED WHILE REMAINING CODE COMPLIANT. ENGINEER SHALL REVIEW ANY MAJOR DEVIATIONS FROM PLAN IF REQUIRED BY AHJ.

MECHANICAL NOTES

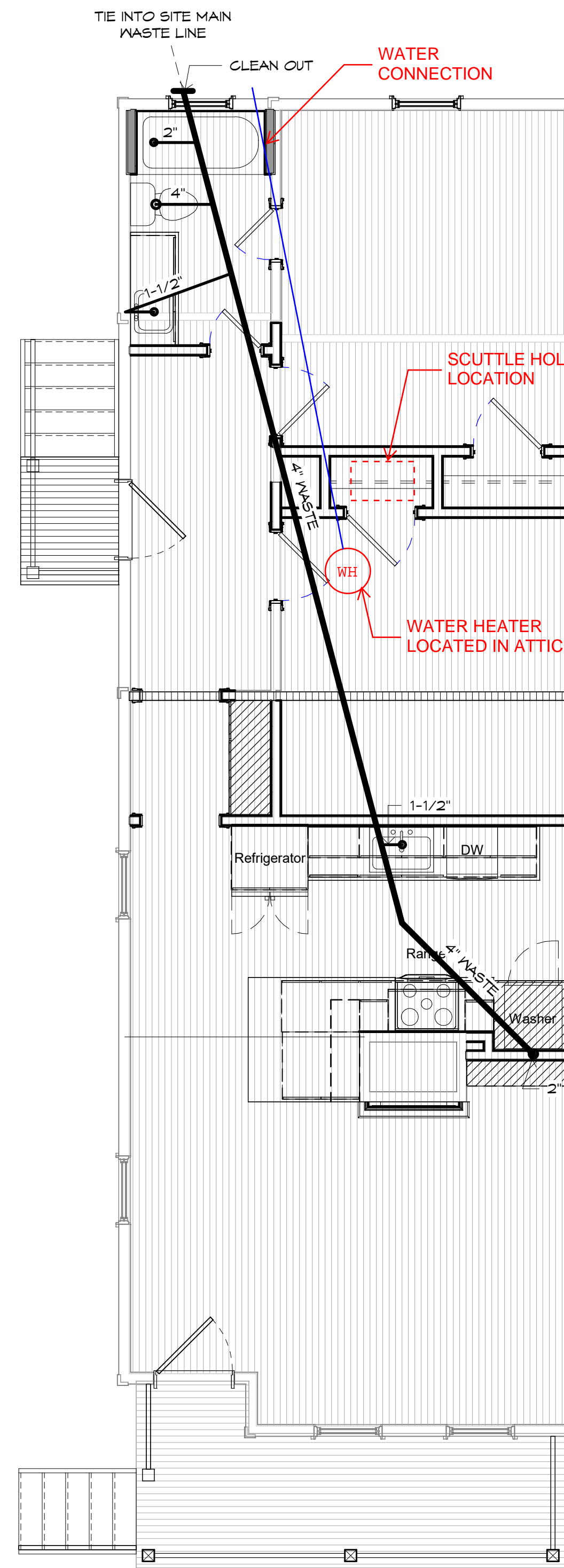
1. ALL COMPRESSORS AND AIR-HANDLING UNITS TO BE NEW WITH A MINIMUM SEER RATING OF 15 UNLESS NOTED OTHERWISE
2. PROVIDE PROGRAMMABLE THERMOSTATS AT ALL LOCATIONS
3. ALL NEW DUCTWORK TO BE INSULATED AND SEALED.
4. HVAC CONTRACTOR TO SIZE NEW DUCTWORK AND AIR FIXTURES
5. ALL WORK SHALL BE PER THE GEORGIA BUILDING CODE, SMACNA, NFPA, U.L., NAIMA, MANUFACTURER'S INSTRUCTIONS, PROFESSIONAL WORK PRACTICES AND CONSTRUCTION DOCUMENTS AS NEEDED FOR COMPLETE, OPERATING AND FULLY FUNCTIONAL SYSTEMS. COMPLY WITH AUTHORITY HAVING JURISDICTION.
6. EQUIPMENT SHALL INCLUDE ALL INDICATED ITEMS AND ANGLARIES RELATED TO ITS PROPER INSTALLATION. EQUIPMENT INSTALLATION SHALL COMPLY WITH MFG'S SPECIFICATIONS AND CLEARANCE REQUIREMENTS. COPPER REFRIGERANT TUBING TO BE SIZED PER MFG'S SPECIFICATIONS. PVC CONDENSATE LINES SHOULD BE SIZED TO MATCH AIR HANDLER CONDENSATE BUNG. COPPER AND PVC PIPE SHALL HAVE FLENUM RATED CLOSED CELL INSULATION TO ALLOW NO SWEATING. EQUIPMENT SHALL BE SUPPORTED WITH VIBRATION ISOLATION, AND ANCHORED FOR WIND BRACING COMPLIANCE. PRIMARY CONDENSATE PIPE SHALL HAVE TRAP AND APPROVED TERMINATION. SECONDARY PAN DRAIN SHALL BE NEAREST EXTERIOR WALL. PRIMARY AND SECONDARY CONDENSATE PIPE SHALL SLOPE TO DRAIN.
7. AIR FIXTURES SHALL MATCH CEILING CONSTRUCTION AND BE FULLY SUPPORTED. FIXTURES IN HARD CEILINGS SHALL BE CAULKED TO MOUNTING.
8. CONTROL WIRES SHALL BE SHEATHED OR IN CONDUIT. WIRE SHALL BE SUPPORTED FROM ADJACENT STRUCTURE OR PIPING WITH TIES AND CLIPS ALONG BUILDING LINES.
9. PERFORM CONTRACTORS TEST AND BALANCE (TAB). SET INDICATED AIR FLOWS PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
10. HVAC FIELD SUPERVISOR TO REVIEW JOB WITH ARCHITECT PRIOR TO ROUGH-IN.
11. DIFFUSERS SHALL BE TITUS 250-AA ALUMINUM MULTI-USE WITH BORDER TYPE 1, FACTORY FINISH #28 WHITE, AND MODEL AS-15 OPPOSED BLADE DAMPER ACCESSORY. SELECT 1 OR 2 WAY DISCHARGE PATTERN APPROPRIATELY FOR EACH DIFFUSER LOCATION.



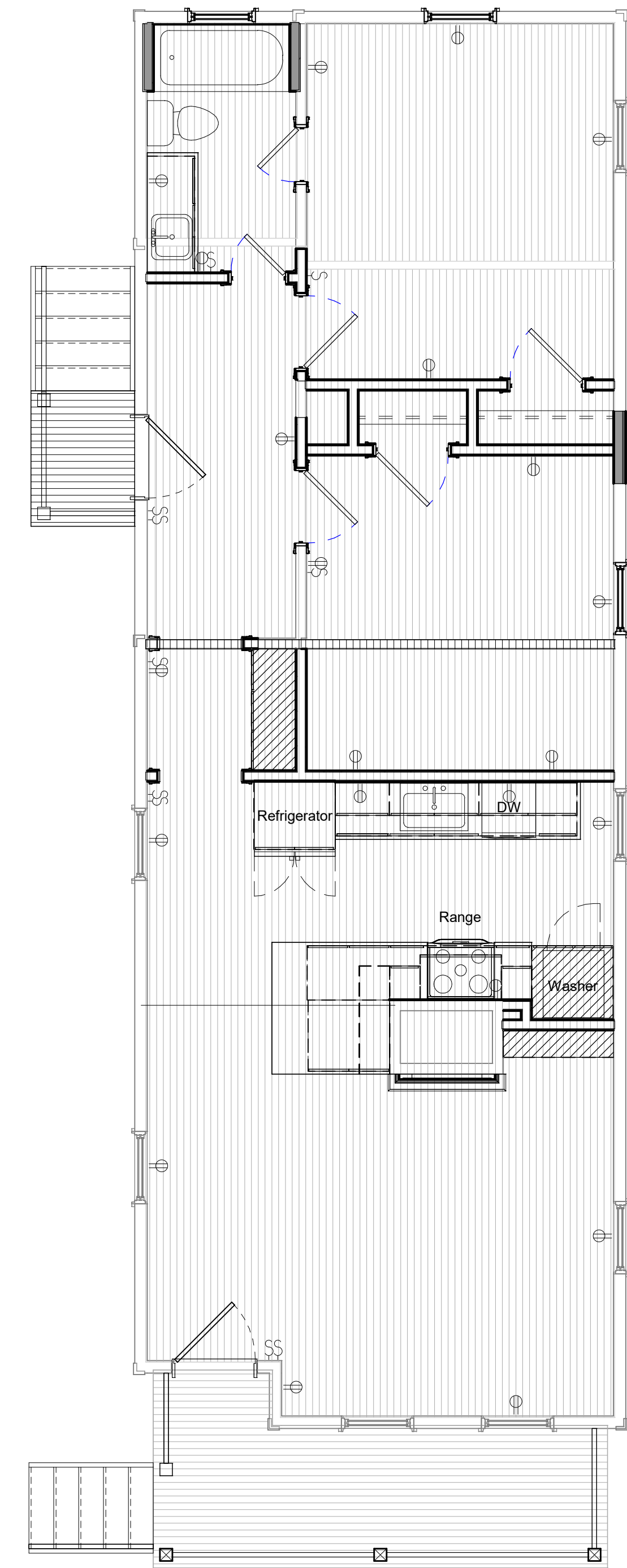
3 FIRST LEVEL - MECHANICAL
1/4" = 1'-0"

ELECTRICAL NOTES

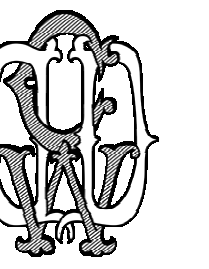
1. ELECTRICAL FOR APPLIANCES AND EQUIPMENT NOT SHOWN - PROVIDE POWER AS NECESSARY FOR EACH PIECE OF EQUIPMENT. VERIFY WITH EACH MANUFACTURER.
2. PROVIDE SMOKE DETECTORS AS REQUIRED BY CODE, REVIEW PLACEMENT WITH ARCHITECT PRIOR TO INSTALLATION.
3. ALL FAN AND VENT FAN SWITCHES TO BE PROVIDED BY FAN MANUFACTURER TO ALLOW FOR FULL FUNCTIONALITY OF FIXTURE.
4. SEE INTERIOR ELEVATIONS FOR MORE INFORMATION ON SWITCH AND OUTLET PLACEMENT. COORDINATE WITH FINISHES (TILE PATTERNS, JOINTS, BACKSPASHES, ETC.)
5. VERIFY EXACT PLACEMENT OF FLOOR OUTLETS IN FIELD WITH OWNER PRIOR TO INSTALLATION.
6. COORDINATE WITH OWNER'S AUDIO/VISUAL/LOW VOLTAGE CONTRACTOR TO PROVIDE POWER REQUIREMENTS.
7. PLANS INDICATE THE GENERAL LAYOUT OF DEVICES AND FIXTURES. COORDINATE FINAL PLACEMENT OF ALL DEVICES AND FIXTURES WITH ARCHITECT PRIOR TO INSTALLATION.
8. ELECTRICAL WORK SHALL MEET THE REQUIREMENTS OF ALL CURRENT STATE AND LOCAL CODES, NATIONAL ELECTRICAL CODE, CONNECTING UTILITY, MANUFACTURER'S INSTRUCTIONS, AND PROFESSIONAL WORK PRACTICES, AS REQUIRED FOR COMPLETE AND OPERATING SYSTEMS. NOTIFY ARCHITECT OF ANY PROBLEMS PRIOR TO CONSTRUCTION.
9. POWER, LIGHTS, SERVICE, CONTROLS, DEVICES, EQUIPMENT, ETC SHALL BE FULLY COORDINATED AHEAD OF INSTALLATION. IN GENERAL ABOVE GRADE CONDUIT ROUTES SHOULD FOLLOW THE BUILDING'S LINES OF CONSTRUCTION.
10. MATERIALS SHALL BE NEW & IN GOOD CONDITION. WIRE SHALL BE COPPER. INSULATION SHALL BE 75°C (THIN OR THHN) OR ABOVE. CONDUIT AND TUBING SHALL BE GALVANIZED METAL ABOVE GRADE AND VC BELOW GRADE.
11. WIRE COUNTS, RUNNERS, GROUNDS, CABLE BLOCKS, BOXES, TRAYS, CONNECTORS, CLAMPS, HANGERS, ETC ARE INSTALLERS RESPONSIBILITY. VERIFY CIRCUIT PROTECTION, WIRE AND CONDUIT SIZE, PHASES, AND EQUIPMENT LOADS.
12. RECEPTACLES, SWITCHES, AND CONTROL DEVICES SHALL BE UL LISTED WHITE THERMO PLASTIC WALL PLATES UNLESS NOTED OTHERWISE. ALL RECEPTACLES SHALL BE GFI TYPE. DEVICES AND FIXTURES SHALL HAVE CIRCUITS SIZED PER ELECTRICAL CODE. ELECTRICAL SUB SHALL COORDINATE CIRCUIT SIZES OF EQUIPMENT WITH PLUMBING AND MECHANICAL SUBS.



2 FIRST LEVEL - PLUMBING
1/4" = 1'-0"



1 FIRST LEVEL - ELECTRICAL
1/4" = 1'-0"



Charles W. Day
DESIGN

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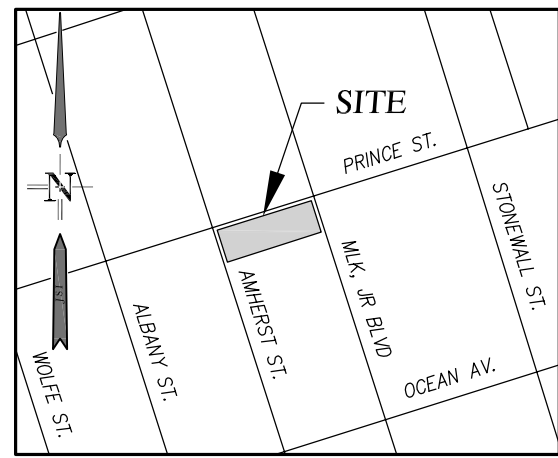
MEP

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PERMIT SET

20-010
04/08/21
Author

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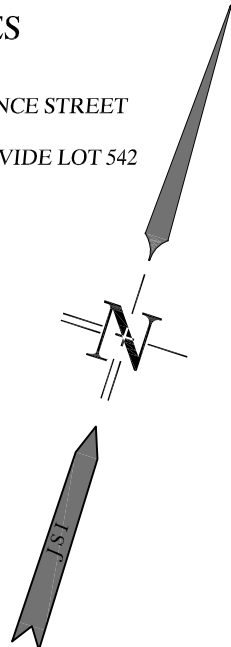
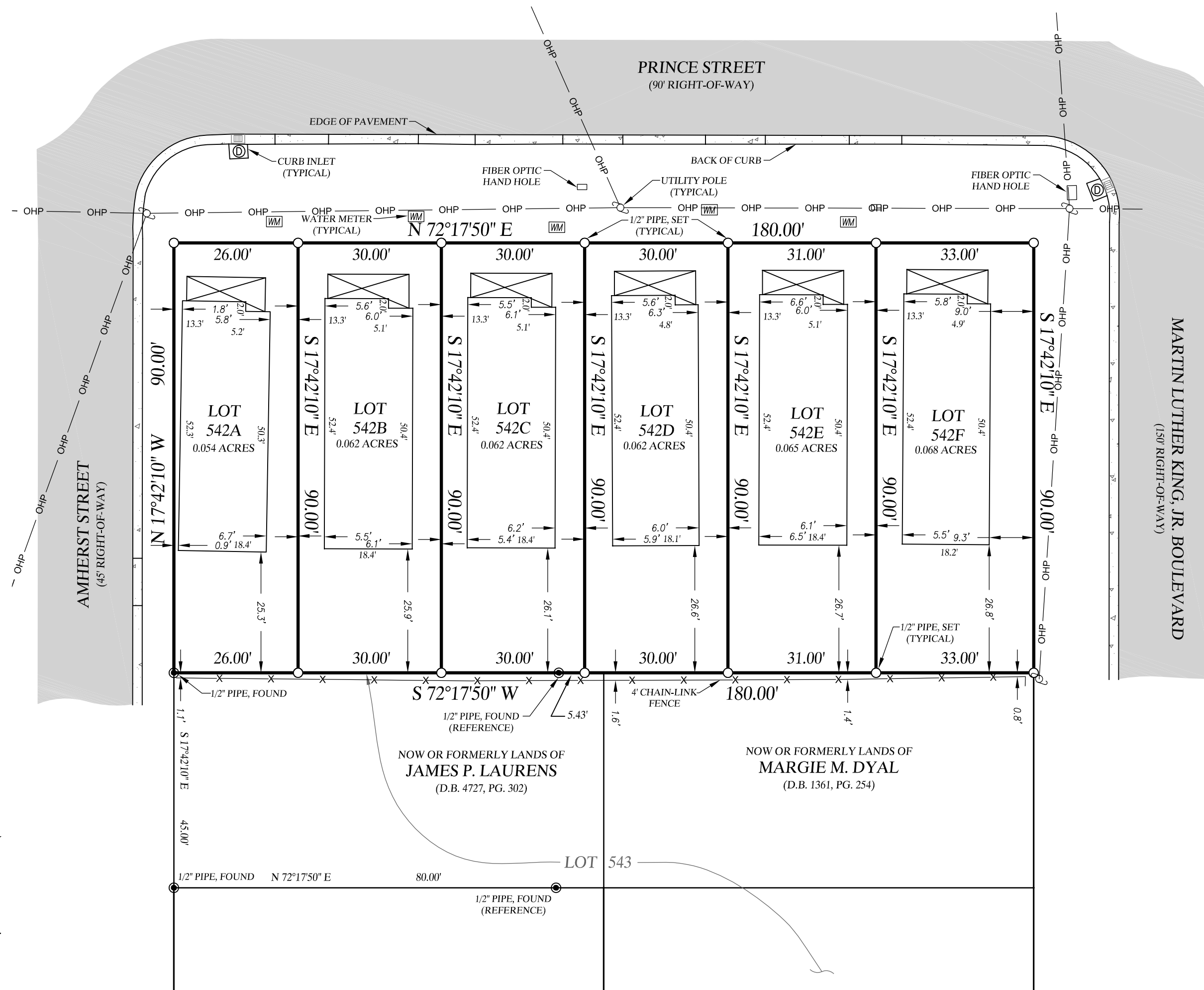
VICINITY (N.T.S.) MAP

MAP TO SHOW SUBDIVISION SURVEY OF
LOT 542, OLD TOWN, CITY OF BRUNSWICK,
26th G.M.D., GLYNN COUNTY, GEORGIA
 (ACCORDING TO DEED RECORDED IN D.B. 4906, PG. 197 OF THE PUBLIC RECORDS OF SAID COUNTY)

FOR: JOHN LAURENS

TOTAL AREA: 0.372 ACRES

PARCEL ID: 01-00841
 ADDRESS: 1400, 1402, 1404, 1406, 1408, 1410 PRINCE STREET
 THE PURPOSE OF THIS SURVEY IS TO SUBDIVIDE LOT 542 INTO SIX (6) LOTS.



NOTES:

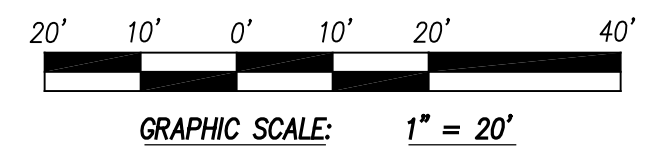
1. BEARINGS SHOWN HEREON ARE BASED ON GRID NORTH-NAD83 COORDINATE DATUM FOR THE GEORGIA EAST ZONE UTILIZING THE TRIMBLE VRS NETWORK.
2. THIS SURVEY WAS DONE WITHOUT THE BENEFIT OF A TITLE ABSTRACT.
3. ACCORDING TO THE GLYNN COUNTY GIS THE SUBJECT PROPERTY IS ZONED GR WITH THE FOLLOWING BUILDING SETBACK REQUIREMENTS ACCORDING TO CITY OF BRUNSWICK ZONING ORDINANCE:
 - 3.1. FRONT: 15 FEET.
 - 3.2. SIDE: 5 FEET.
 - 3.3. REAR: 10 FEET.
4. THE SUBJECT PROPERTY IS SHOWN TO BE IN FLOOD HAZARD ZONE "AE" (EL. 9) AS PER F.I.R. MAPS, FOR GLYNN COUNTY, GEORGIA, DATED: JANUARY 5, 2018, MAP No. 13127C0238H, COMMUNITY No. 130093, PANEL No. 238, SUFFIX No. H.
5. THERE MAY EXIST RESTRICTIONS OR ENCUMBRANCES AFFECTING THE SUBJECT PROPERTY THAT ARE NOT KNOWN TO JACKSON SURVEYING, INC.

CLOSURE STATEMENT:

PROPERTY CORNERS SHOWN HEREON HAVE A POSITIONAL TOLERANCE OF 0.05 FEET
 THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 325,000 FEET.
 EQUIPMENT USED FOR FIELD MEASUREMENTS:
 ANGULAR & LINEAR: TRIMBLE S5 & TRIMBLE R780

REVISED:

MARCH 19, 2024 - CORRECTED SETBACKS



DATE OF PLAT: MARCH 19, 2024

DATE OF FIELD SURVEY: MARCH 18, 2024

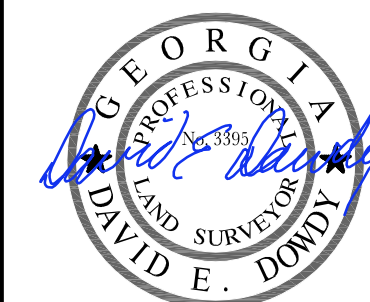
CERTIFICATION OF APPROVAL BY THE BRUNSWICK PLANNING AND APPEALS COMMISSION

PURSUANT TO THE SUBDIVISION REGULATIONS OF THE CITY OF BRUNSWICK, GLYNN COUNTY, GEORGIA, ALL REQUIREMENTS HAVING BEEN FULFILLED, THIS FINAL PLAT WAS GIVEN APPROVAL BY THE CITY OF BRUNSWICK PLANNING AND APPEALS COMMISSION ON April 10, 20 24

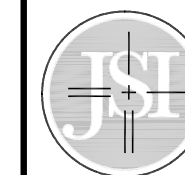
Grace Greene
 DATE _____ CHAIRMAN, BRUNSWICK PLANNING AND APPEALS COMMISSION

SURVEYOR'S CERTIFICATION

AS REQUIRED BY SUBSECTION (D) OF O.C.G.A. SECTION 15-6-67, THIS PLAT HAS BEEN PREPARED BY A LAND SURVEYOR AND APPROVED BY ALL APPLICABLE LOCAL JURISDICTIONS FOR RECORDING AS EVIDENCED BY APPROVAL CERTIFICATES, SIGNATURES, STAMPS, OR STATEMENTS HEREON. SUCH APPROVALS OR AFFIRMATIONS SHOULD BE CONFIRMED WITH THE APPROPRIATE GOVERNMENTAL BODIES BY ANY PURCHASER OR USER OF THIS PLAT AS TO INTENDED USE OF ANY PARCEL. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.



DAVID E. DOWDY
 GA. PROFESSIONAL SURVEYOR No. 3395



JACKSON SURVEYING, INC.
 Surveyors and Land Planners
 LSF001244

207 ROSE DRIVE
 BRUNSWICK, GEORGIA 31520
 email: info@brunswicksurveyor.com

DWN. BY: D.E.D.
 DWG. NO.: C1025_03-00-24

Ofc. (912) 265-3856

CKD. BY: K.C.J.
 FB. 150, PG. 10